

CERTIFICATE OF APPROPRIATENESS

Applicant: Thomas A. McWhorter, Owner and Rod P. Frego, Agent

Property: 924 Cortlandt Street, Lot 18, Block 228, Houston Heights Subdivision. The property includes a historic 929 square foot, one-story wood frame single family residence and a two story detached garage situated on a 6,600 square foot (50' x 132') interior lot.

Significance: Contributing Queen Anne style residence, constructed circa 1920, located in the Houston Heights Historic District South.

Proposal: Alteration –of front porch elements and detached garage. Addition to primary residence.

- Repair all historic wood windows.
- Existing front porch elements have been altered, the proposed simple wood porch elements are appropriate for the inventory style and date built.
- Sanborn maps show rear north east corner was enclosed, probably c. 1950. Photos of interior roof structure also show a different type of wood in this section - supporting that this rear portion is not original to the home. The proposed addition begins at this enclosed area. One non-original small window at rear will be lost in enclosed area.
- One story addition of 1,169 square feet retains three original corners.
- Historic roof profile is maintained and roof pitch (4/12 and 10/12) on addition is the same as historic. Asphalt shingle roof and finished floor height match historic portion.
- New 117 wood siding on addition.
- New wood windows on addition will be inset and recessed.
- Existing detached garage (second floor is raised house c. 1950s) openings to be altered for alley auto entry. Siding filled in to match existing.
- Meets Heights Design Guidelines Measurable Standards

Public Comment: No public comment received.

Civic Association: No comment received.

Recommendation: Approval

HAHC Action: -

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S D NA S - satisfies D - does not satisfy NA - not applicable

- (1) The proposed activity must retain and preserve the historical character of the property;
- (2) The proposed activity must contribute to the continued availability of the property for a contemporary use;
- (3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;
- (4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;
- (5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;
- (6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;
- (7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;
- (8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;
- (9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;
- (10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and
- (11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.

HEIGHTS DESIGN GUIDELINES

- In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines.

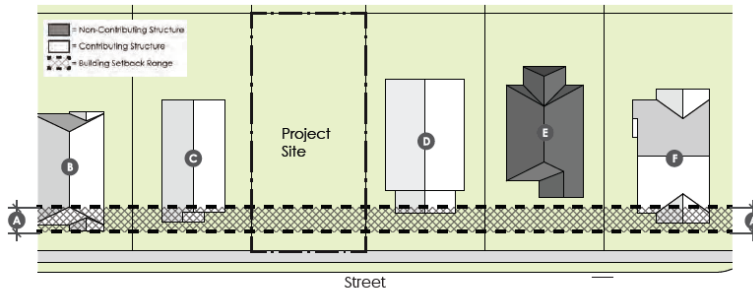
HEIGHTS DESIGN GUIDELINES MEASURABLE STANDARDS

Maximum Lot Coverage (Addition and New Construction)

LOT SIZE	MAXIMUM LOT COVERAGE
<4000	.44 (44%)
4000-4999	.44 (44%)
5000-5999	.42 (42%)
6000-6999	.40 (40%)
7000-7999	.38 (38%)
8000+	.38 (38%)

Existing Lot Size: 6,600 sq ft
 Proposed Lot Coverage: 2160
 Proposed Percentage: .32%

Front Setbacks (New Construction)



KEY	MEASUREMENT	APPLICATION
A	RANGE	Locate the front of the primary building within the range of front setbacks for contributing buildings within the context area.

Proposed front setback: not applicable

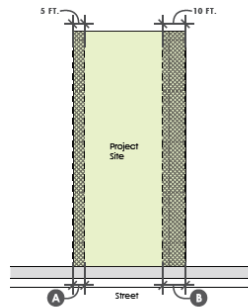
Rear Setbacks (Addition and New Construction)

The City of Houston requires a minimum setback of three feet from the rear property line for all properties, except under the following circumstances:

- A front-facing garage which is located with its rear wall at the alley may have a zero-foot setback.
- An alley-loading garage generally must be located to establish a minimum of 20 feet of clearance from an opposing alley-loading garage door, the rear wall of a front-facing garage, or a fence; a 24-foot clearance is preferred.

Proposed rear setback: (garage stays as is, rear addition satisfies requirement)

Side Setbacks (Addition and New Construction)



Note: This diagram shows just one example of a side setback configuration.

KEY	MEASUREMENT	APPLICATION
A	3 FT.	Minimum distance between side wall and the property line for lots less than 35 feet wide
B	5 FT.	Minimum distance between the side wall and the property line
	REMAINING	Difference between minimum side setback of 5 feet and minimum cumulative side setback
	6 FT.	Minimum cumulative side setback for lots less than 35 feet wide
C	10 FT.	Minimum cumulative side setback for a one-story house
	15 FT.	Minimum cumulative side setback for a two-story house

Proposed side setback (1): (south) 10.2'

Proposed side setback (2): (north) 5.1'

Cumulative side setback: 15.3'

Maximum Floor Area Ratio (Addition and New Construction)

LOT SIZE	MAXIMUM FAR
<4000	.48
4000-4999	.48
5000-5999	.46
6000-6999	.44
7000-7999	.42
8000+	.40

Existing Lot Size: 6,600 sq ft

Proposed FAR: 33% (2,218sqft)

Side Wall Length and Insets (Addition and New Construction)

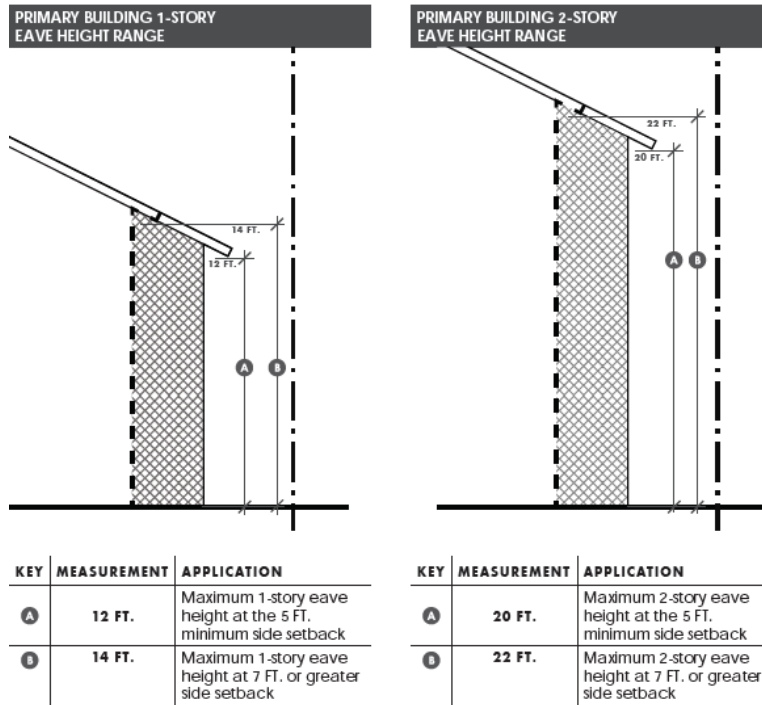
MEASUREMENT	APPLICATION
50 FT.	Maximum side wall length without inset (1-story)
40 FT.	Maximum side wall length without inset (2-story)
1 FT.	Minimum depth of inset section of side wall (1-story)
2 FT.	Minimum depth of inset section of side wall (2-story)
6 FT.	Minimum length of inset section of side wall

Side Wall Length: 72.9' Existing (38')

Inset depth: 1'

Inset length: 13'3"

Eave Height (Addition and New Construction)



Proposed eave height: 12' – matches historic

Building Wall (Plate) Height (Addition and New Construction)

MEASUREMENT	APPLICATION
36 IN.	Maximum finished floor height (as measured at the front of the structure)
10 FT.	Maximum first floor plate height
9 FT.	Maximum second floor plate height

Proposed finished floor: 23"
 Proposed first floor plate height: 10'
 Proposed second floor plate height: n/a

-

Porch Eave Height (Addition and New Construction)

MEASUREMENT	APPLICATION
9-11 FT.	Minimum and maximum 1-story porch eave height.

Proposed porch eave height: - at rear– matches existing

-

Front Wall Width and Insets (New Construction)

Proposed front wall width: not applicable

-

Front Porch Width and Depth (Addition and New Construction)

Proposed front porch width: not applicable

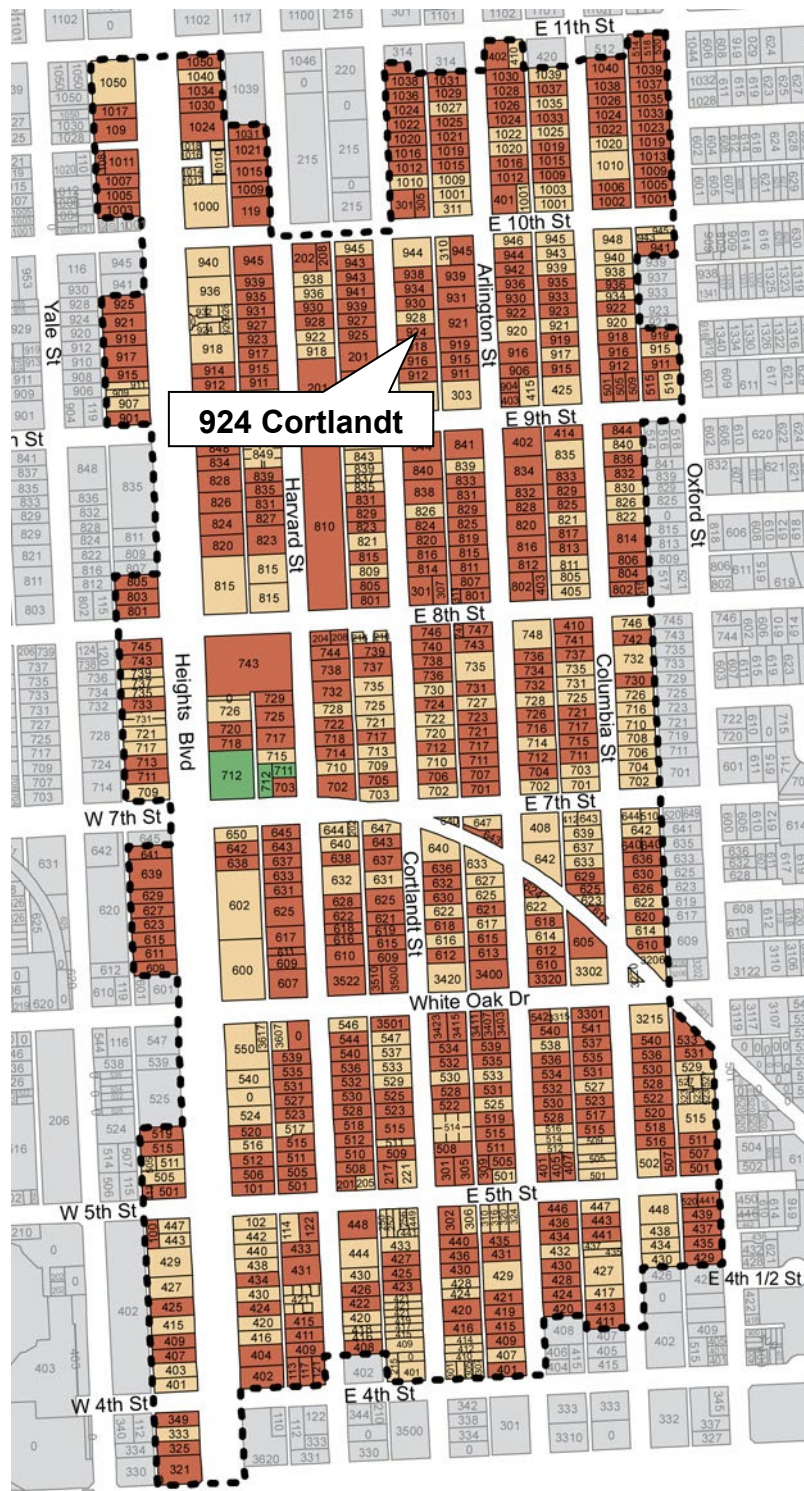
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Detached Garage Ridge Height (New Construction)

Proposed ridge height: not applicable

PROPERTY LOCATION

HOUSTON HISTORIC DISTRICT SOUTH



924 Cortlandt

Building Classification

- Contributing
- Non-Contributing
- Park

INVENTORY PHOTO



CURRENT PHOTO -FACING WEST TOWARDS CORTLANDT



CURRENT PHOTOS –



FRONT WINDOWS TO BE REPAIRED



CURRENT PHOTOS – NORTH SIDE ELEVATION WINDOWS – REAR TO BE ALTERED/MOVED



CURRENT PHOTOS: REAR ELEVATION (EAST)



CURRENT PHOTOS – SOUTH SIDE ELEVATION



CURRENT PHOTOS – SOUTH SIDE ELEVATION



(TAKE FROM STREET)



(TAKEN FROM REAR)

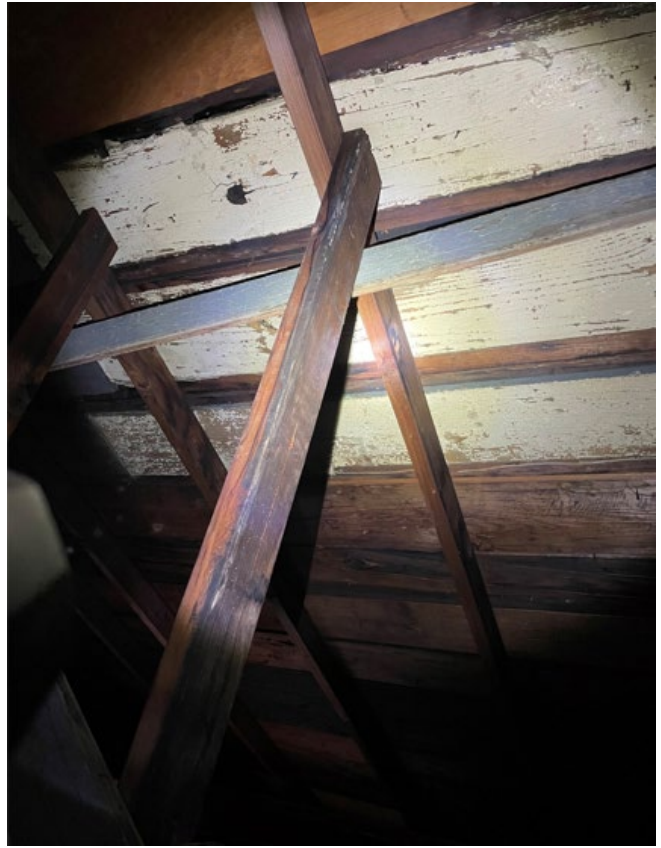


(WINDOW TOWARDS FRONT)



(WINDOW TOWARDS BACK)

CURRENT PHOTOS INTERIOR, SHOWING NON-ORIGINAL ENCLOSE AREA AT REAR NORTH CORNER



GARAGE – FACING COURTLANDT STREET



GARAGE FACING ALLEY – proposal to move door to alley



HARRIS COUNTY ARCHIVE BLA – C.1950 – HOUSE RAISED TO ACCOMMODATE GARAGE

HARRIS COUNTY BUILDING ASSESSMENT

CITY ACCOUNT NO.				COUNTY ACCOUNT NO.				
VOL.	PAGE	SUB	ITEM	SEQUENCE NO.	VOL.	PAGE	SUB	ITEM
40	9500	019		998080	20	224	18	
DATE _____ 19____				INSPECTOR _____				
OWNER: _____				INSPECTOR _____				
NO: <u>628 Harvard</u> STREET				INSPECTOR _____				
SURVEY OR ADDITION: <u>Houston Heights</u>				REMARKS: <u>revalue - best of gar apt</u>				
ABST. _____ LOT OR TCT. <u>18</u> BLK. <u>228</u>								
TYPE <u>RESIDENTIAL</u> _____ COMMERCIAL _____				<p><u>Kne + gar is 62 yrs old - gar raised & added too</u></p> <p>MOVED HERE _____ FROM <u>-380</u></p> <p><u>1-14-50</u></p> <p><u>1960 new lot 780</u></p> <p>ASSESSED VALUE _____</p> <p><u>Baiamonte Michel</u></p>				
INDUSTRIAL _____ PRE-FAB _____								
EXTERIOR: PERMASTONE — ROCK — BRICK MASONRY — BRICK VENEER — <u>FRAME</u> — STUCCO — CONCRETE — TILE — CLAY TILE — CEDAR SHAKES — COMPOSITION — SHINGLE — REDWOOD								
INTERIOR: PAPER — SHIP LAP — SHEETROCK — PLASTERED — paneled — CELLOTEX — PLYWOOD — NONE								
FLOORS: OAK — PLYWOOD — FLAGSTONE — CEMENT — TILE — PINE — AZROCK — HIGGINS — TERRAZZO — NONE								
ROOFING: SHINGLE — ASBESTOS — TERRA COTTA — TILE — COMPOSITION — SLATE — COPPER — C IRON — TAR AND GRAVEL — STONE — SLAG — ALUMINUM								
FOUNDATION: CONCRETE SLAB — BLOCKS — BEAMS — PIERS — BRICK — NONE								
PLUMBING: 1 TILE — 2 TILE — 3 TILE — 4 TILE — 5 TILE — SPRINKLERS — OTHER — NONE								
CLIMATIZERS: DUAL TEMP AC. — AC. — ATTIC VENTILATION — CENTRAL HEATING — GAS STOVES — NONE								
ELECTRICAL EQUIPMENT: PART — ALL _____ PERMIT NO. _____								
CONDITION: NEW — GOOD — FAIR — POOR — OBSOLETE _____ PERMIT VALUE _____								

CURRENT AERIAL – GOOGLE MAPS
924 Cortlandt

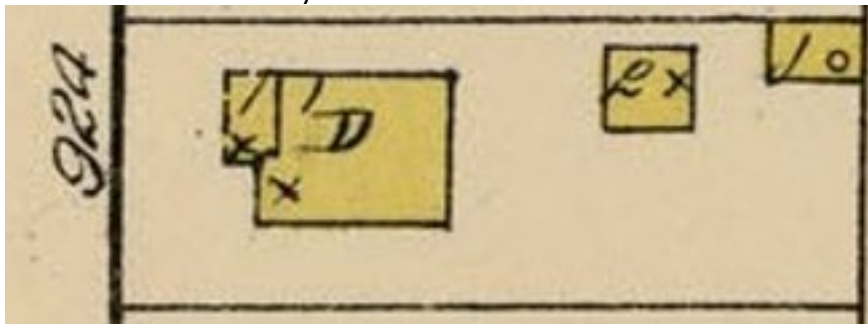


Sanborn c.1919

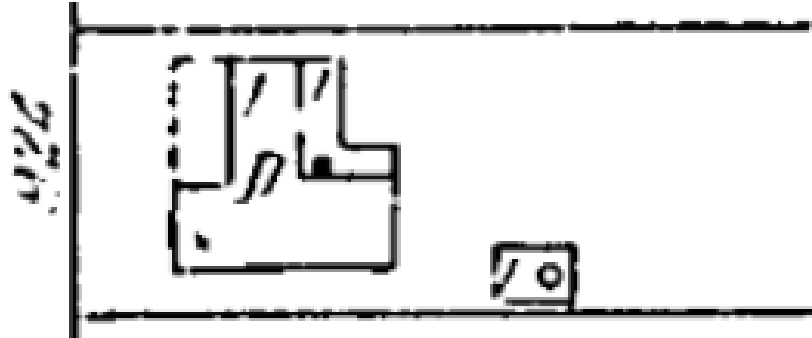
CURRENT AERIAL – GOOGLE MAPS



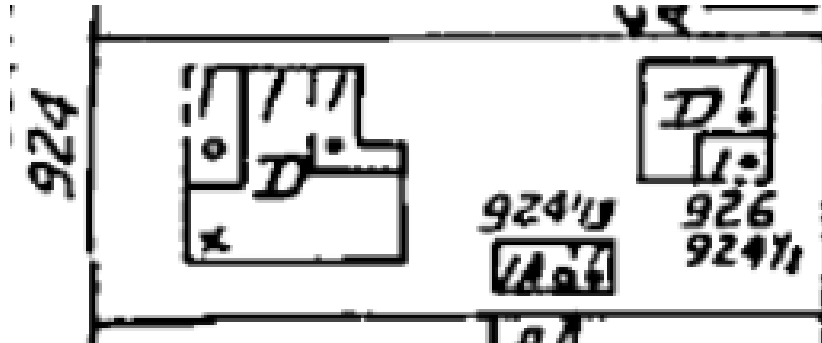
Sanborn c.1919,
inventory states-built c. 1920



Sanborn c.1925



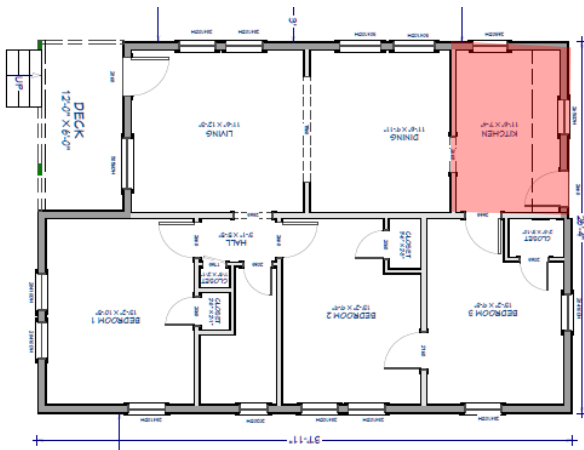
Sanborn c. 1950



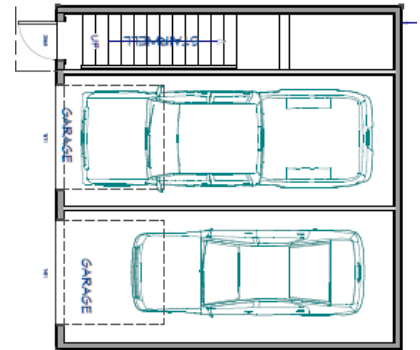


FIRST FLOOR PLAN

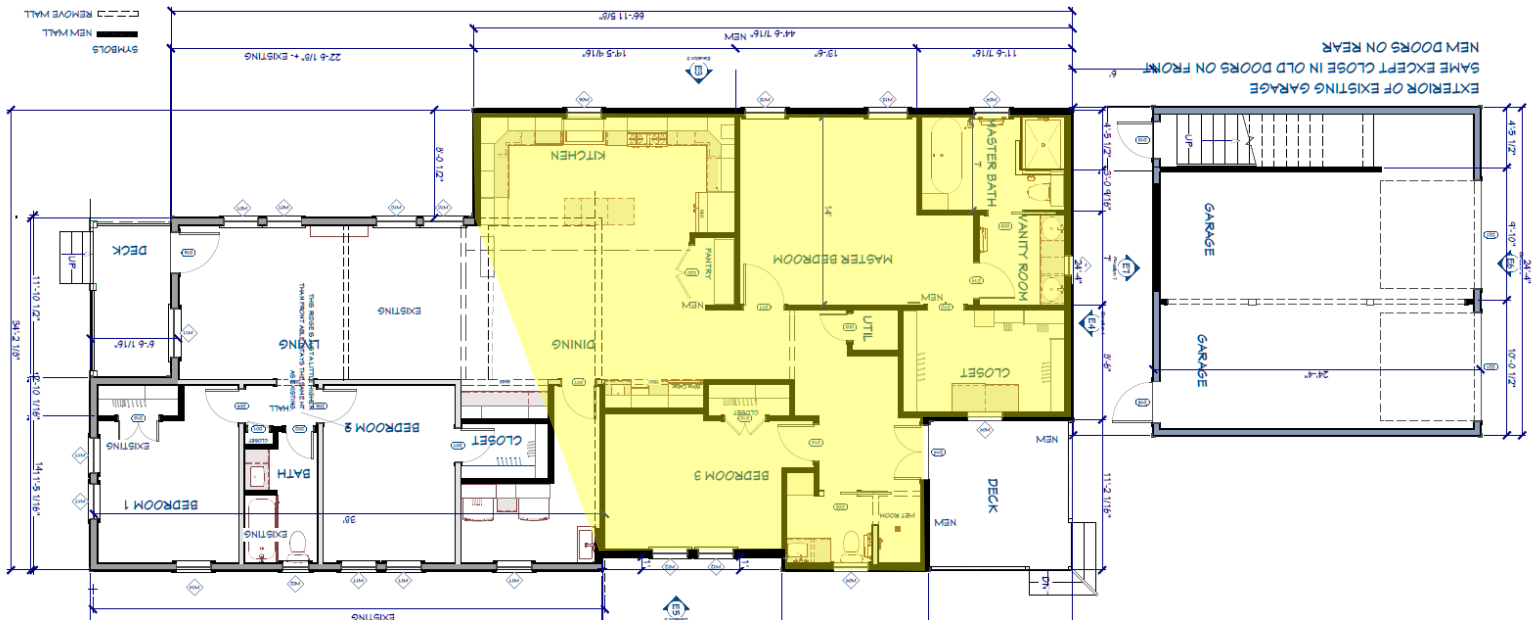
EXISTING



FIRST FLOOR PLAN EXIST 1/4"=1'-0"



PROPOSED



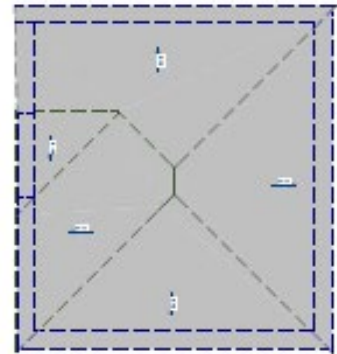
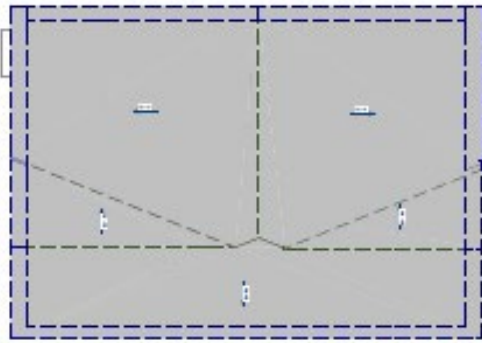


ROOF PLAN

EXISTING

Existing Roof Plan view 1/8"=1'-0"

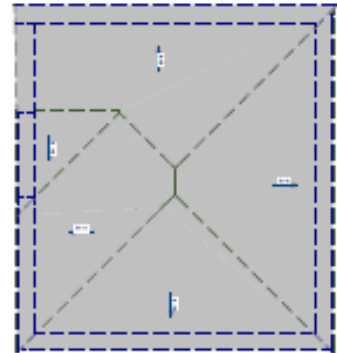
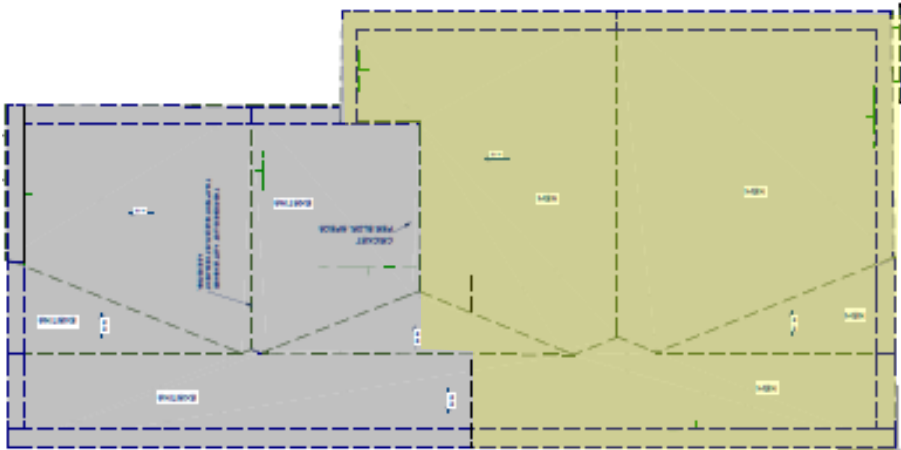
Existing garage Roof Plan View



PROPOSED

Proposed Roof Plan View 1/8"=1'-0"

Garage Roof Plan Same



3D RENDERING – FRONT FACING CORTLANDT STREET

EXISTING

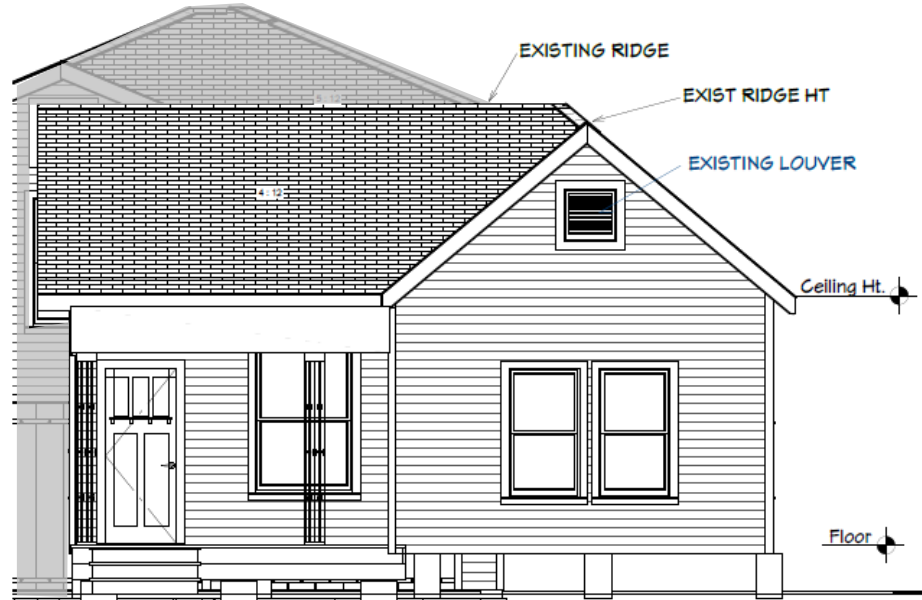


PROPOSED



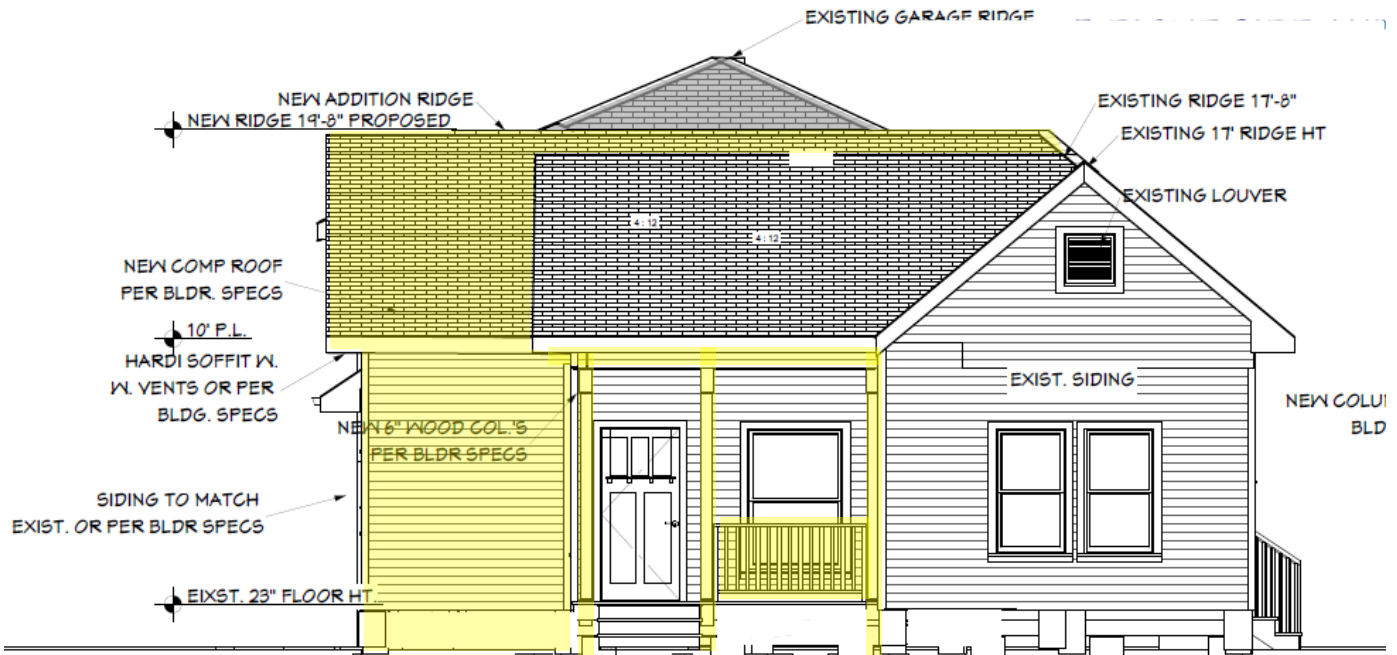
WEST ELEVATION

EXISTING GARAGE AT REAR



Elevation 6- Existing Front 1/4"=1'-0"

PROPOSED



Elevation 2-FRONT ELEVATION 1/4"=1'-0"

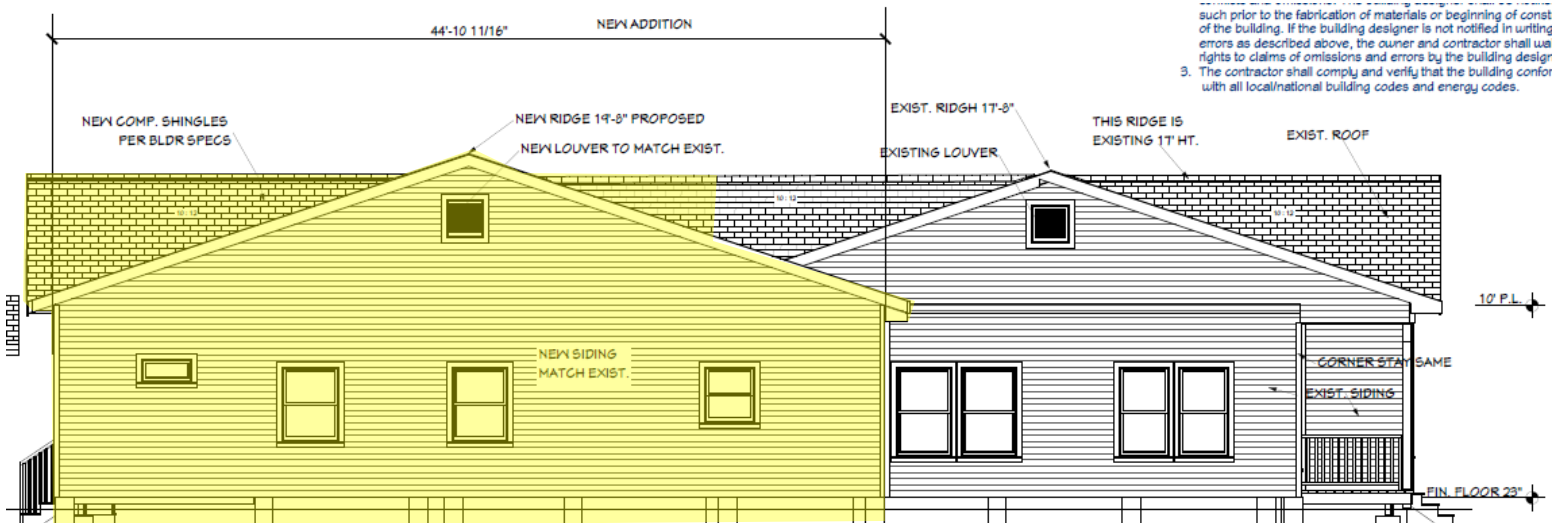
NORTH SIDE ELEVATION

EXISTING



Elevation 7- LEFT Side Existing

PROPOSED



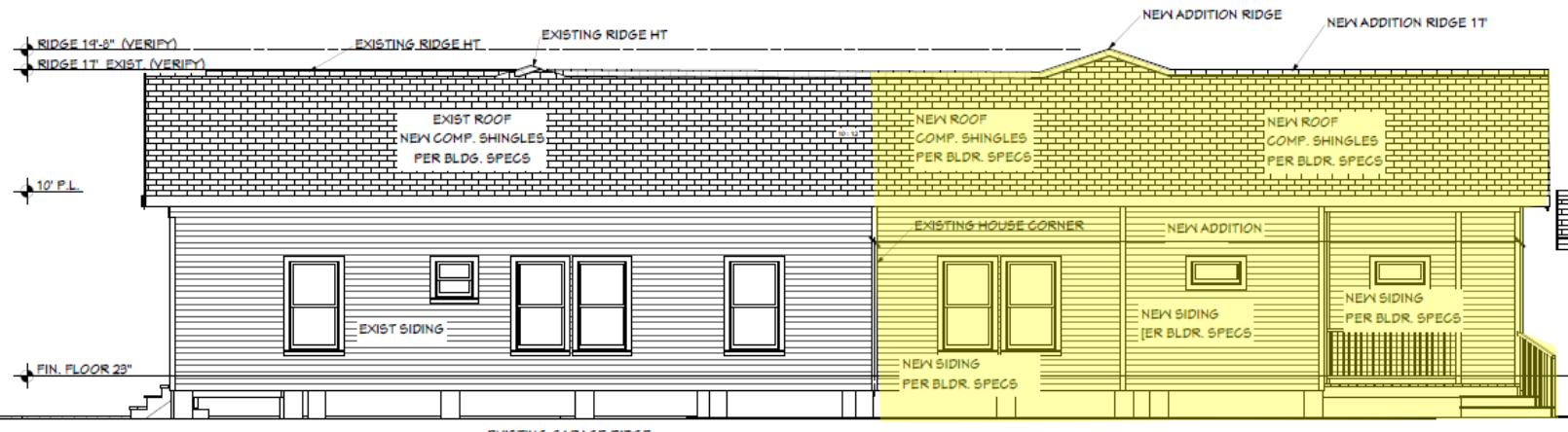
SOUTH SIDE ELEVATION

EXISTING



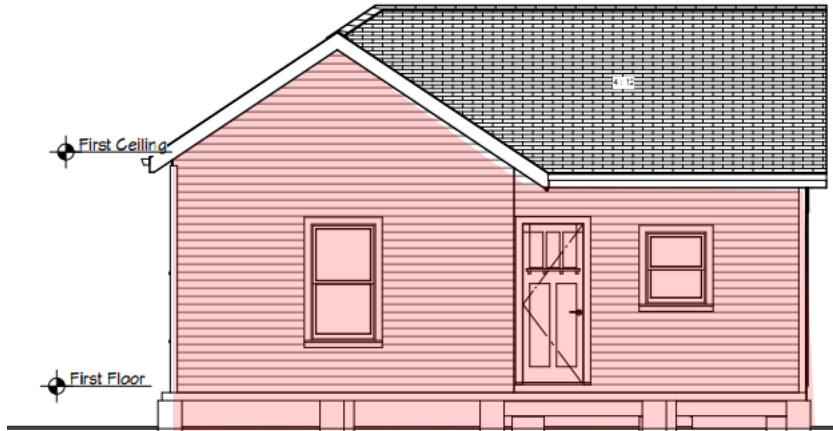
Elevation 9- Right Side Existing 1/4"=0"

PROPOSED



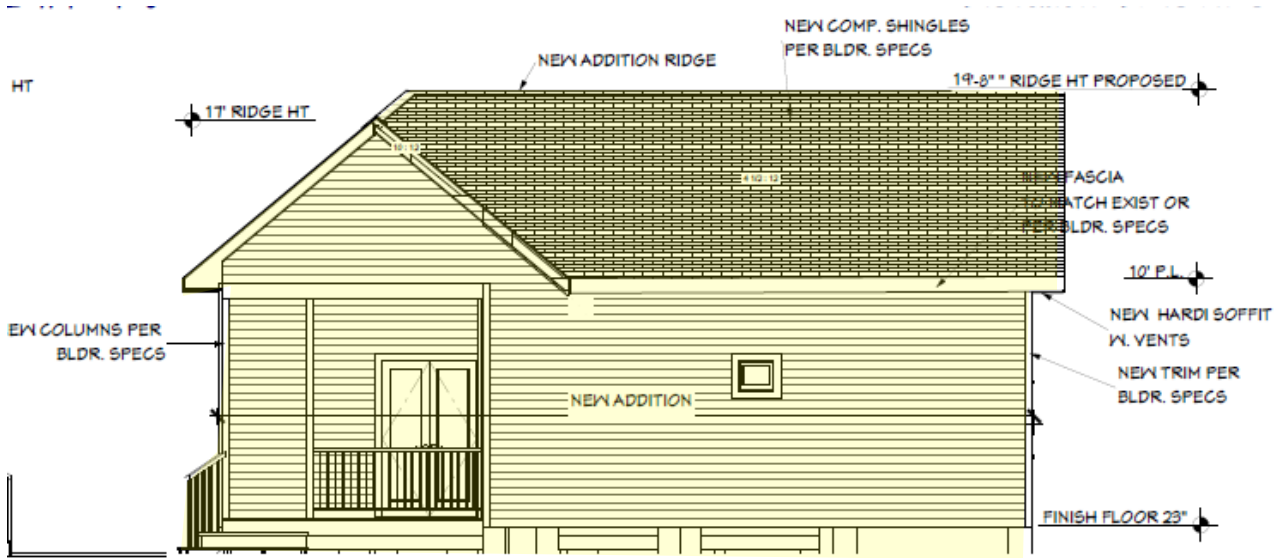
EAST SIDE ELEVATION (REAR)

EXISTING



Elevation -Rear Existing 1/4"=1'-0"

PROPOSED

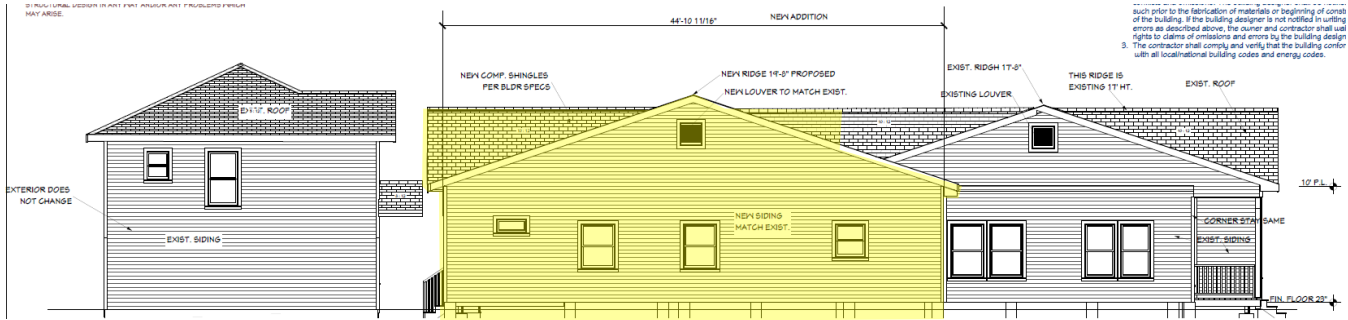


Elevation 4-REAR



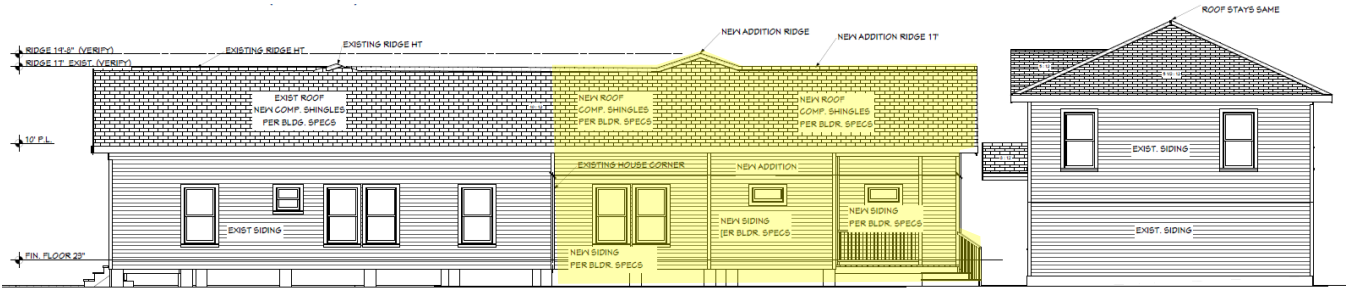
NORTH SIDE ELEVATION

PROPOSED WITH EXISTING GARAGE (NON CONTRIBUTING PER INVENTORY)



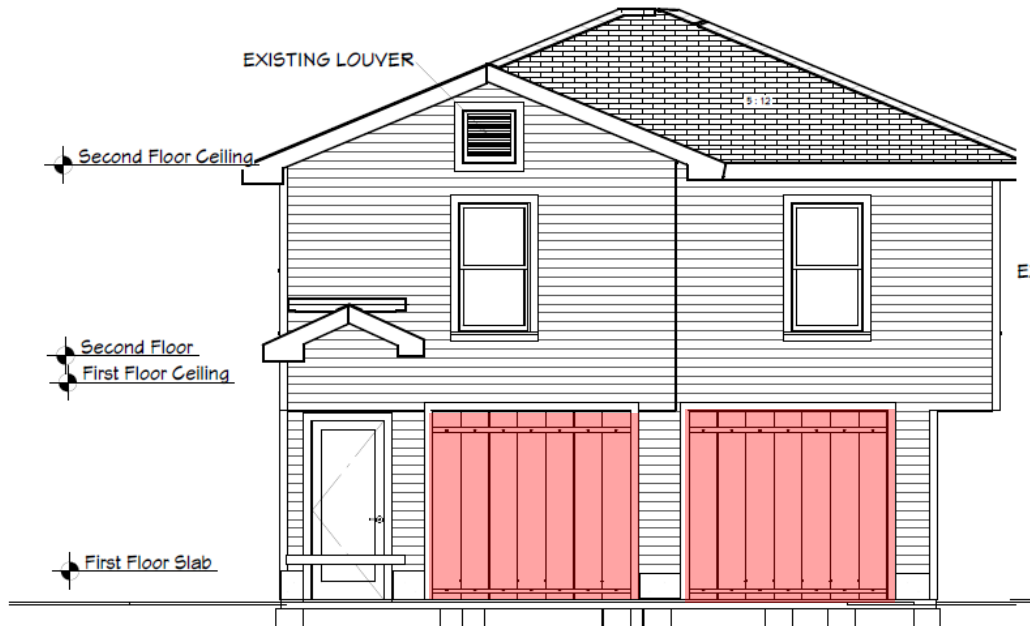
SOUTH SIDE ELEVATION

PROPOSED WITH EXISTING GARAGE ("NON CONTRIBUTING" PER INVENTORY)



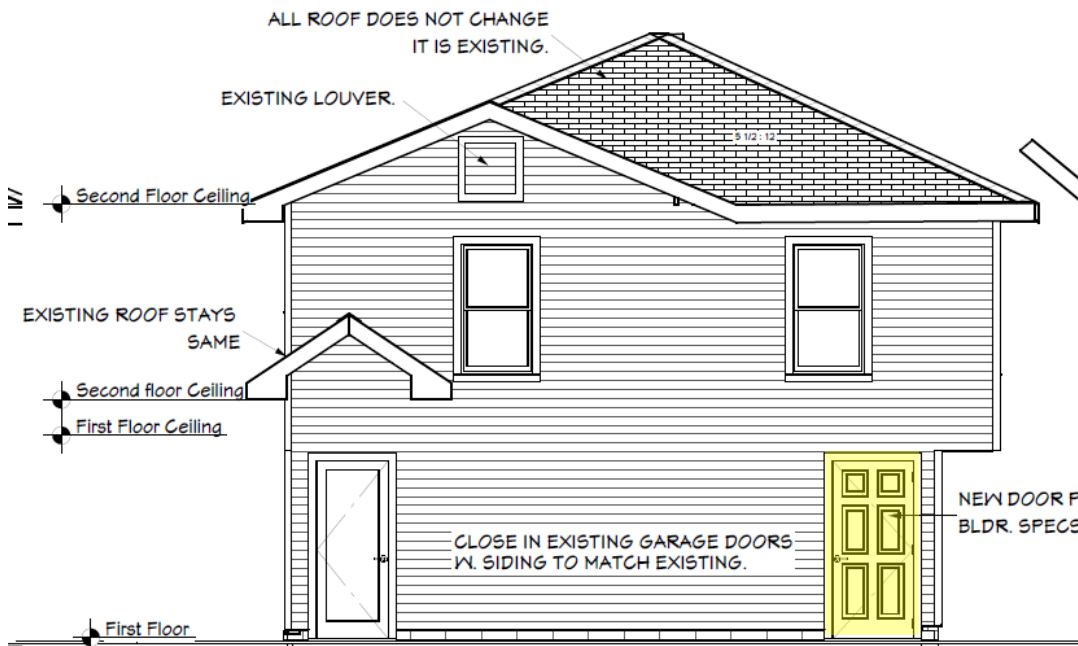
WEST ELEVATION -GARAGE

EXISTING



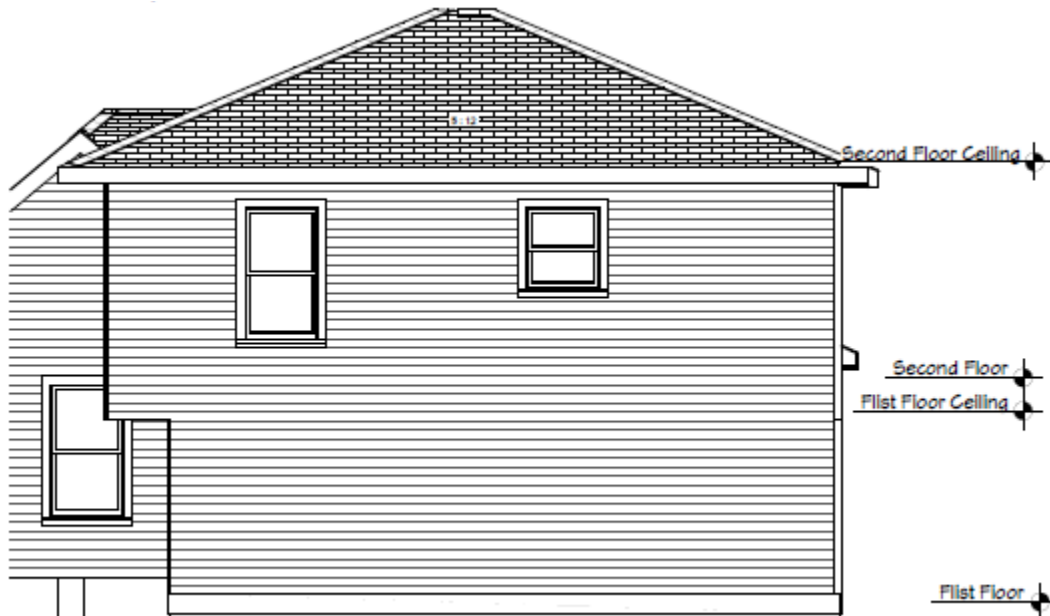
Elevation Garage Existing Front Elevation 1/4"=1'-0"

PROPOSED



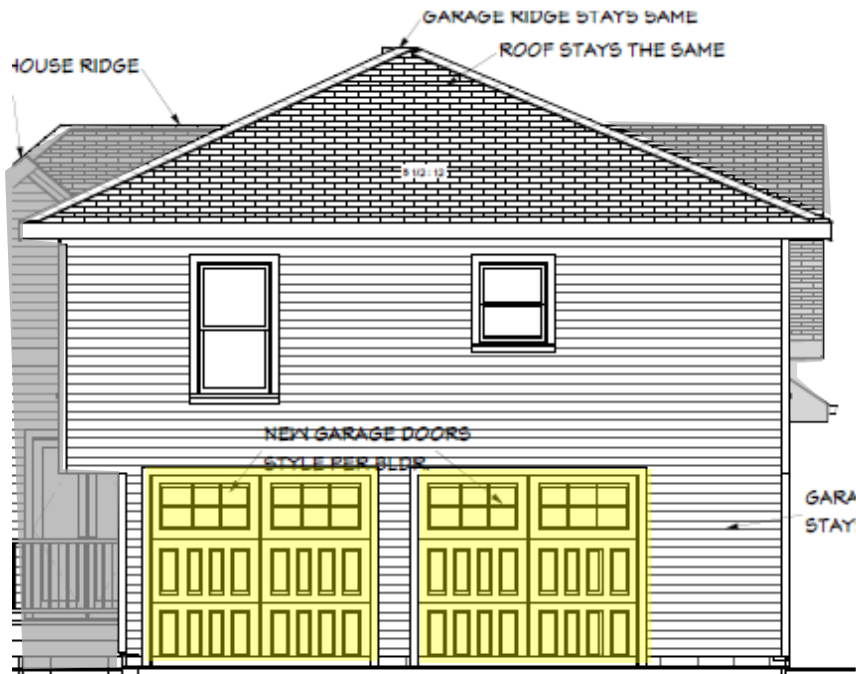
Elevation 7- New Front Elevatoin (Stays the same other than closing in Doors & new small door)

EAST SIDE ELEVATION



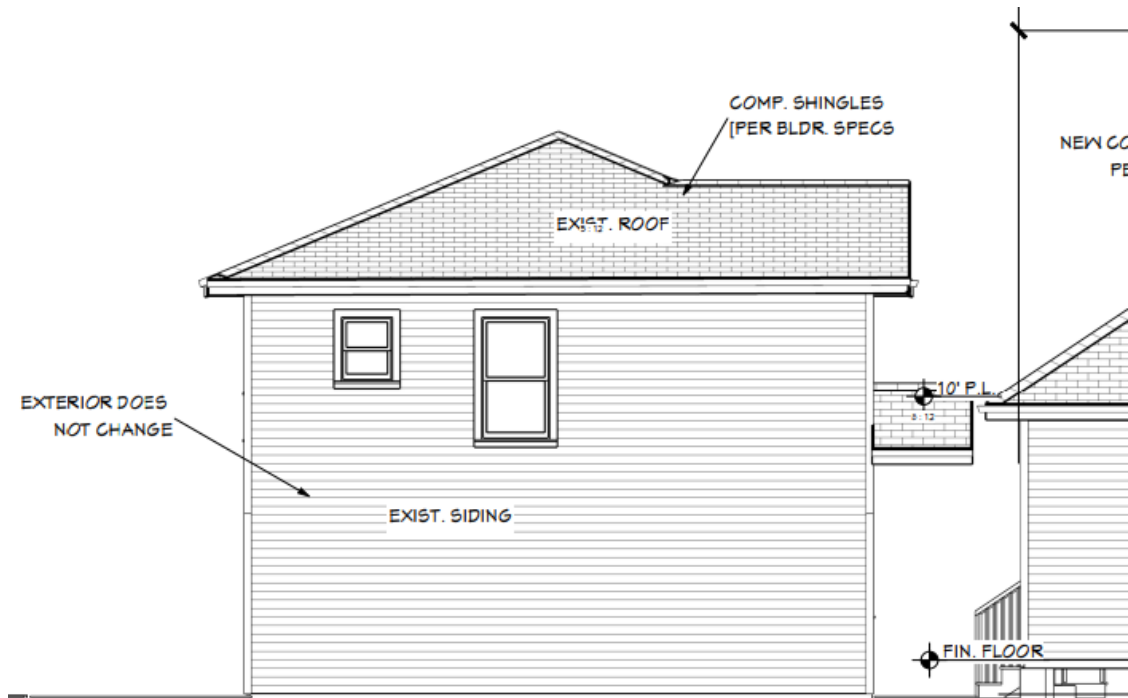
-Elevation- Existing Rear Garage 1/4"=1'-0"

PROPOSED

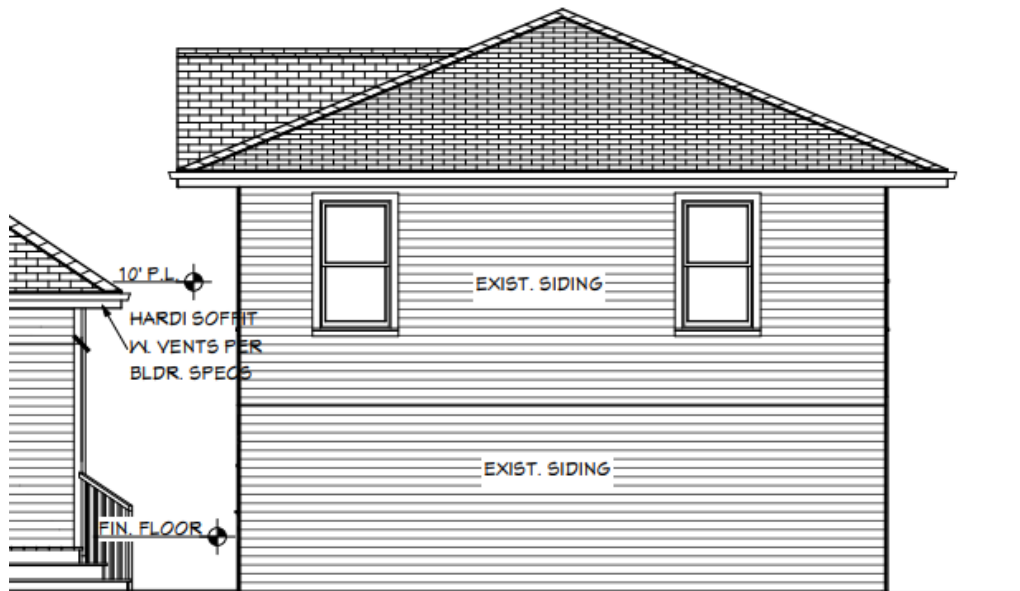


Elevation 6-Rear New Garage 3/16"=1'-0"

NORTH and SOUTH SIDE ELEVATIONS – NO CHANGE

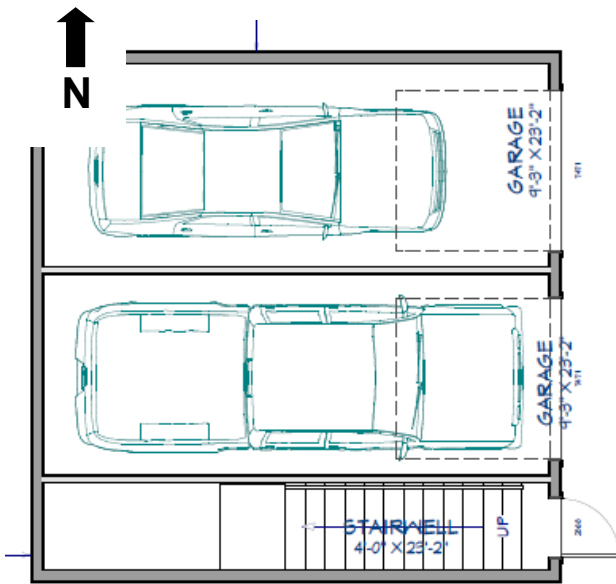


Elevation -EXISTING GARAGE LEFT SIDE (New Same)

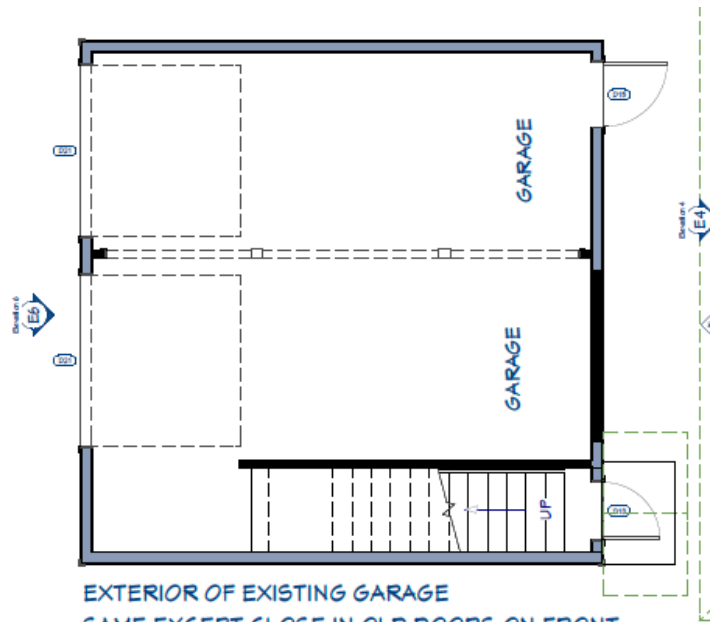


Elevation -EXISTING GARAGE RIGHT SIDE (New Same)

FIRST FLOOR PLAN (GARAGE)

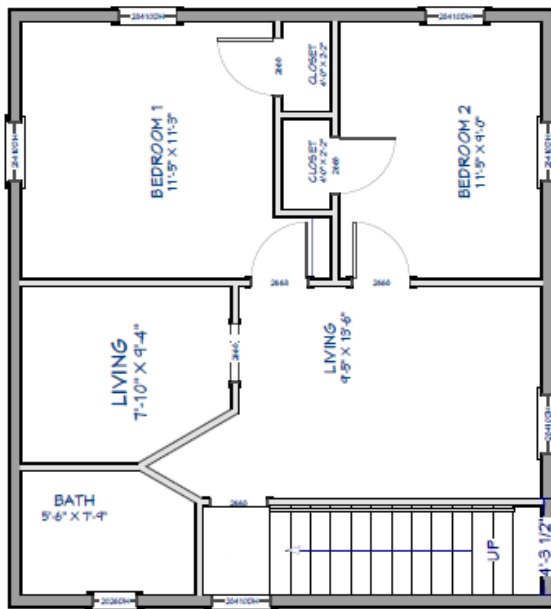


FIRST FLOOR PLAN EXIST 1/4"=1'-0"

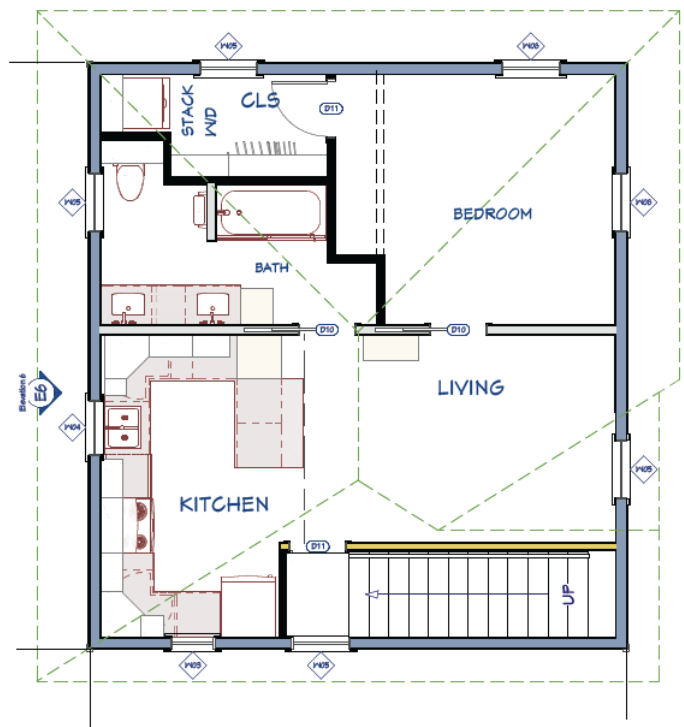


EXTERIOR OF EXISTING GARAGE
SAME EXCEPT CLOSE IN OLD DOORS ON FRONT
NEW DOORS ON REAR

SECOND FLOOR PLAN (GARAGE)



SECOND FLOOR EXIST. 1/4"=1'-0"



SECOND FLOOR PLAN-NEW 1/4"=1'-0"

WINDOW SCHEDULE

On Mon, Jan 10, 2022, 11:12 AM Tom McWhorter <tmc@bmexpl.com> wrote:

Hi Amanda.

I just uploaded the revised layout file for 924 Cortlandt. It contains most of what you had asked for in your email. We do not have elevations for the existing since we can look at the actual pictures. Pictures were provided on the layout. There are floor plans for the existing house and garage on page 4. As for the garage, the building is still the same after as it is now. The only change is the garage door was relocated to the back and there is an elevation showing that on the new layout.

According to **Rod**, the new windows will be Jeld-wen Wood Widows 2500 Series.

WINDOW SCHEDULE (NE

NUMBER	LABEL	QTY	FLOOR	SIZE	EGRESS	DESCRIPTION	COMMENTS
W01	1613FX	1	1	1613FX		FIXED GLASS	NEW
W02	2020DH	1	1	2020DH		DOUBLE HUNG	EXISTING REPAIR AS NEEDED
W03	2026DH	1	2	2026DH		DOUBLE HUNG	EXISTING REPAIR AS NEEDED
W04	2630DH	1	2	2630DH		DOUBLE HUNG	EXISTING REPAIR AS NEEDED
W05	28410DH	4	2	28410DH		DOUBLE HUNG	EXISTING REPAIR AS NEEDED
W06	2830DH	1	1	2830DH		DOUBLE HUNG	NEW
W07	28410DH	2	1	28410DH		DOUBLE HUNG	EXISTING .REPAIR AS NEEDED
W08	28410DH	2	2	28410DH	YES	DOUBLE HUNG	EXISTING REPAIR AS NEEDED
W09	2813FX	3	1	2813FX		FIXED GLASS	NEW
W10	30410DH	2	1	30410DH		DOUBLE HUNG	EXISTING .REPAIR AS NEEDED
W11	3856DH	1	1	3856DH		DOUBLE HUNG	EXISTING REPAIR AS NEEDED
W12	28410DH	2	1	28410DH	YES	DOUBLE HUNG	NEW
W13	3040DH	2	1	3040DH		DOUBLE HUNG	NEW
W14	28410DH	1	1	28410DH		DOUBLE HUNG	EXISTING REPAIR AS NEEDED
W16	2020LV	3	2	2020LV		LOUVERED	
W17	28410DH	5	1	28410DH		DOUBLE HUNG	EXISTING REPAIR AS NEEDED

ALL ORIGINAL WINDOWS WILL BE REAPIERED AND NEW WINDOWS WILL BE WOOD WIDOWS FROM JELDWIN WITH THE SAME LIGHT PATTERN AS THE EXISTING WINDOWS.

QTY	MANUFACTURER
1	JELD-EN SERIES 2500 WOOD WINDOWS IN SAME STYLE AS EXISTING
1	
1	
1	
4	
1	JELD-WEN SERIES 2500 WOOD WINDOWS IN SAME STYLE AS EXISTING
2	
2	
3	JELD-EN SERIES 2500 WOOD WINDOWS IN SAME STYLE AS EXISTING
2	
1	
2	JELD-EN SERIES 2500 WOOD WINDOWS IN SAME STYLE AS EXISTING
2	JELD-EN SERIES 2500 WOOD WINDOWS IN SAME STYLE AS EXISTING
1	
3	
5	

DOOR SCHEDULE

DOOR SCHEDULE								
NUMBER	LABEL	QTY	FLOOR	SIZE	DESCRIPTION	HEADER	COMMENTS	TEMPERED
D01	1768	1	1	1768 R IN	HINGED-DOOR P04	2X6X24 3/16" (2)		
D02	2068	1	1	2068 L IN	HINGED-DOOR P04	2X6X29" (2)		
D03	2068	1	1	2068 R IN	HINGED-DOOR P04	2X6X29" (2)		
D05	2660	2	1	2660 R IN	HINGED-LATTICE GATE	2X6X35" (2)		
D06	2668	1	1	2668 L IN	HINGED-DOOR P04	2X6X34 11/16" (2)		
D07	2668	2	1	2668 L IN	HINGED-DOOR P04	2X6X35" (2)		
D08	2668	2	1	2668 L	POCKET-DOOR P04	2X6X65" (2)		
D09	2668	1	1	2668 R IN	HINGED-DOOR P04	2X6X34 11/16" (2)		
D10	2668	2	2	2668 R	POCKET-DOOR P04	2X6X65" (2)		
D12	2868	1	1	2868 R	BARN-DOOR P04	2X6X37" (2)		
D13	2868	1	1	2868 R EX	EXT. HINGED-GLASS PANEL	2X6X34" (2)	EXISTING REPAIR AS NEEDED	YES
D14	2868	2	1	2868 R IN	HINGED-DOOR P04	2X6X37" (2)		
D15	3068	1	1	3068 L EX	EXT. HINGED-DOOR P09	2X6X38" (2)	NEW	
D16	3068	1	1	3068 L EX	EXT. HINGED-DOOR E21	2X6X41" (2)	EXISTING	
D17	3068	1	1	3068 L IN	HINGED-DOOR P04	2X6X41" (2)		
D18	3068	2	1	3068 L/R IN	DOUBLE HINGED-DOOR P04	2X6X41" (2)		
D19	4068	1	1	4068 L/R EX	EXT. DOUBLE HINGED-GLASS PANEL	2X8X53" (2)		YES
D20	4068	1	1	4068 L/R IN	DOUBLE HINGED-DOOR L01	2X6X53" (2)		
D21	8070	2	1	8070	GARAGE-GARAGE DOOR CHD05	2X12X104" (2)	NEW GARAGE DOOR VERIFY SIZE AT JOBSITE. CLOSE UP EXISTING GARAGE DR AT FRONT OF GARAGE	
D22	2668	2	2	2668 R IN	HINGED-DOOR P04	2X6X35" (2)		

CALCULATION OF IMPERVIOUS PERCENTAGE			
SQUARE FOOTAGE:			
EXISTING RESIDENCE		929 SQ.FT.	
GARAGE		590 SQ.FT.	
ADDITION		1169 SQ.FT.	
COVERED PORCHES		194 SQ.FT.	
DRIVEWAY		682 SQ.FT.	
SIDEWALKS		241 SQ.FT.	
A. TOTAL AREA OF IMPERVIOUS COVER LOCATED ON PRIVATE PROPERTY			
		ORIG.	NEW
1. BUILDING(S)		1519	1169
2. COVERED PORCHES		74	120
3. PAVING		0	241
		GRAND TOTAL	
			3123
B. TOTAL AREA OF LOT:			6600
C. PERCENTAGE IMPERVIOUS AREA CALCULATION			
(3123/6600) x 100			47.32%

Certificate Of Appropriateness: Alteration/Addition Worksheet

(For Houston Heights East, West, or South Districts only)



PLANNING & DEVELOPMENT DEPARTMENT

Please review Houston Heights Design Guidelines for more clarification or larger images - Section 5 - See link here:

https://www.houstontx.gov/planning/historicpres/design_guide_heights_district/july2018/houston-heights-design-guidelines-july2018.pdf

* This form is required. Failure to include accurate and complete requested information below may result in an incomplete application and delay the review/recommendation of the proposed project to Director and HAHC.

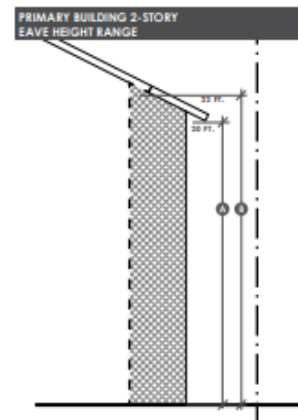
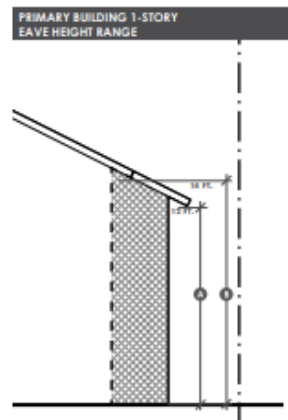
Address*: 924 Cortlandt

Lot Size (Total Sq Ft)*: 6600

Lot Dimensions (W X L)*: 50 x 132

General Addition Info:

	Existing	Proposed/New do not include existing
Square Footage*	929'	1168'
Stories*	1	1
Max Ridge Height*	17.8'	19.8'
Max Eave Height*	10'	10'

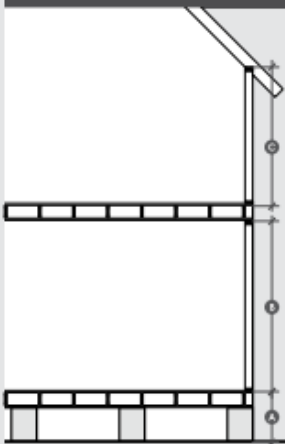


KEY	MEASUREMENT	APPLICATION
Ⓐ	12 FT.	Maximum 1-story eave height at the 5 FT. minimum side setback
Ⓑ	14 FT.	Maximum 1-story eave height at 7 FT. or greater side setback

KEY	MEASUREMENT	APPLICATION
Ⓐ	20 FT.	Maximum 2-story eave height at the 5 FT. minimum side setback
Ⓑ	22 FT.	Maximum 2-story eave height at 7 FT. or greater side setback

Building Wall (Plate) Height:

PRIMARY BUILDING WALL PLATE HEIGHT



KEY	MEASUREMENT	APPLICATION
Ⓐ	36 IN.	Maximum finished floor height (as measured at the front of the structure)
Ⓑ	10 FT.	Maximum first floor plate height
Ⓒ	9 FT.	Maximum second floor plate height

	Existing	Proposed/New
A. Finished floor height* measured @ front from grade	23"	23"
B. First floor height (Plate Height) from max finished floor height	10'	10'
C. Second floor height (Plate Height) from first floor height	NA	NA

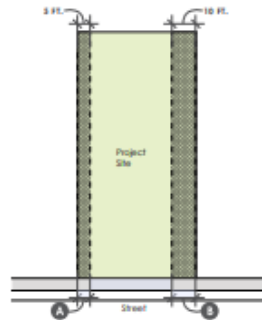
Address*: 924 Cortlandt

Lot Size (Total Sq Ft)*: 6600

Lot Dimensions (W X L)*: 50 x 132

Setbacks From Property Line:

	Proposed/ New	Shares property line with neighbor -Y/N?
North*	5.1'/5.1'	Y
South*	10.2'/10.2'	Y
East*	8.4'/8.4'	N
West*	18.3'/18.3'	N

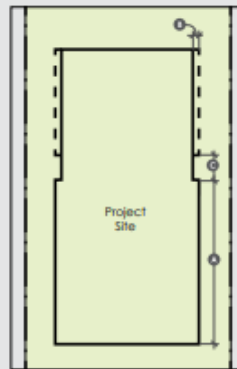


Note: This diagram shows just one example of a side setback configuration.

KEY	MEASUREMENT	APPLICATION
A	3 FT.	Minimum distance between side wall and the property line for lots less than 35 feet wide
B	5 FT.	Minimum distance between the side wall and the property line
B	REMAINING	Difference between minimum side setback of 5 feet and minimum cumulative side setback
C	6 FT.	Minimum cumulative side setback for lots less than 35 feet wide
C	10 FT.	Minimum cumulative side setback for a one-story house
C	15 FT.	Minimum cumulative side setback for a two-story house

Max Width/Depth (Overall)

widest building wall corner to corner	Proposed Total Max
Max Width*	34.2'
Max Depth*	72.9'
Side wall inset width *if applicable	1'



SIDE WALL LENGTH		
KEY	MEASUREMENT	APPLICATION
A	50 FT.	Maximum side wall length without inset (1-story)
B	40 FT.	Maximum side wall length without inset (2-story)
B	1 FT.	Minimum depth of inset section of side wall (1-story)
B	2 FT.	Minimum depth of inset section of side wall (2-story)
C	6 FT.	Minimum length of inset section of side wall

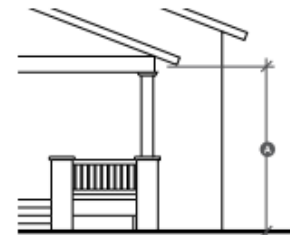
Are original corners maintained on Addition?

Yes No
3 of 4

Maintained

Porch Measurements (if applicable):

Proposed/New	Rear Porch	Side Porch	Side Porch
Eave Height	10'		
Width	11.2'		
Depth	10.8'		
Railing Height	32"		



KEY	MEASUREMENT	APPLICATION
A	9-11 FT.	Minimum and maximum 1-story porch eave height.

Address*: 924 Cortlandt

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Square Footage/Maximum Lot Coverage:		Existing	Proposed do not include existing
Ground Floor Square Footage of Primary Building (HCAD)* <small>*please include sunrooms or enclosed porches w/ walls or windows</small>		929'	1169'
Attached Garage or Storage Space Square Footage			
Detached Garage, Garage Apartment or Accessory Building Square Footage		590'	
<small>* Subtract detached garages more than 528 square feet by 528 square feet. If smaller than 528 sq ft, please subtract only the amount less than 528 sq ft.</small>		62'	
Total Lot Coverage (base sq ft)* =		991'	2160
Total Lot Coverage (% based on lot size)* =		15.01%	32.7%

LOT SIZE	MAXIMUM LOT COVERAGE
<4000	.44 (44%)
4000-4999	.44 (44%)
5000-5999	.42 (42%)
6000-6999	.40 (40%)
7000-7999	.38 (38%)
8000+	.38 (38%)

Notes:	
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Floor to Area Ratio (FAR):		Existing	Proposed do not include existing
Living Space/Conditioned SQ FT of Primary Building (HCAD)* <small>*please include sunrooms or enclosed porches w/ walls or windows, attics with dormers</small>		929'	1168'
+ Attached Garage or Storage Space Square Footage			
+ Detached Garage apartments with area over 400 sq feet		651	
Detached Garage, Garage Apartment or Accessory Building Square Footage			
<small>* Subtract detached garages more than 528 square feet by 528 square feet. If smaller than 528 sq ft, please subtract only the amount less than 528 sq ft.</small>		123	
FAR (sq ft)* =		1052'	2218
FAR (% based on lot size)* =		15.9%	33.6%

LOT SIZE	MAXIMUM FAR
<4000	.48
4000-4999	.48
5000-5999	.46
6000-6999	.44
7000-7999	.42
8000+	.40

Please also refer to the FAR calculator in Preservation Tracker and have drawings that accurately support this information*

Notes:	
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Address*: 924 Cortlandt

Lot Size (Total Sq Ft)*: 6600

Lot Dimensions (W X L)*: 50 x 132

Material Info:

Do you have flooding issues? YES NO

Foundation:

	Existing	Proposed/New Addition
Grade to Finished Floor Height (1st fl)*	23"	23"
Type*	Pier and Beam	Pier and Beam
Material*	Con Blks-Wood	Con Blks-Wood

Roof:

	Existing	Proposed/New Addition
Pitch*	4/12 and 10/12	4/12 and 10/12
Style*	Gable\Hip	Gable\Hip
Material *	Wood\Comp.	Wood\Comp.

CLADDING:

	Existing	Proposed/New Addition
Primary Siding Material *	Wood-117	Wood-117
Primary Siding Width Reveal	4.875"	5"
Skirting Material	Lattice	Open Eaves
Soffit Material	Open Eaves	Open Eaves
Fascia Material	Open Eaves	Open Eaves

PORCH DETAILS:

	Existing	Proposed/New Addition
Decking Material	3.5" Wood Planks	3.5" Wood Planks
Pier/Base Material	Conc Blks-Wood	Conc Blks-Woo
Column Material	Iron Post	Wood Columns
Step Material	Concrete	Wood
Railing Height	None	32"
Railing Material	None	Wood

Are are all windows on addition inset & recessed?* YES or NO