

CERTIFICATE OF APPROPRIATENESS

Application Date: June 27, 2022

Applicant: Jennifer Waldo, owner; Sam Gianukos, agent

Property: 802 W Temple; Lot 9, Block 218, East Norhill. 6,157 SF Lot, 1,428 SF House and detached, 576 SF, garage apartment

Significance: Contributing one-story English brick bungalow, built 1925 per inventory, 1920 per HCAD and garage apartment is designated contributing with build date of 1945 per inventory and 1920 per HCAD

Proposal: Alteration – Addition

- Demolish existing 2-car, 2-story, garage apartment
- To be replaced with 2-story addition to house (separate COA application)

Public Comment: 6 emails in support received and attached

Civic Association: Civic Association is opposed. “The basis of rejection was 1) the proposed demolition of a historic garage apartment and 2) the proposed addition fails to meet the harmony clause. I will look for the letter that contains more detail for your write-up.”

Applicant agent met with NNA and they do support connecting the garage to the house.

Recommendation: Approval

HAHC Action: -

DEMOLITION OF A LANDMARK, PROTECTED LANDMARK, CONTRIBUTING STRUCTURE, OR WITHIN AN ARCHAEOLOGICAL SITE

Sec. 33-247(a): The issuance of a certificate of appropriateness for the demolition of a landmark, a protected landmark, or a contributing structure, or for the demolition of a building, structure or object on or in an archaeological site shall be granted only if:

S D NA

S - satisfies D - does not satisfy NA - not applicable

- (1) The building, structure, or object has seriously deteriorated to an unusable state and is beyond reasonable repair; and
(2) The HAHC finds, based on the preponderance of credible evidence presented subject to the establishment by the applicant, the existence of an unreasonable economic hardship under subsection (c) of this section or the establishment of an unusual and compelling circumstance pursuant to subsection (d) of this section.

(c) Determination of the existence of an unreasonable economic hardship shall be based upon the following criteria:

- (1) That the property is incapable of earning a reasonable return, regardless of whether the return is the most profitable return, including without limitation, regardless of whether the costs of maintenance or improvement of the property exceed its fair market value;
(2) That the owner has demonstrated that the property cannot be adapted for any other use, whether by the current owner, by a purchaser or by a lessee, that would result in a reasonable return;
(3) That the owner has demonstrated reasonable efforts to find a purchaser or lessee interested in acquiring the property and preserving it, and that those efforts have failed; and
(4) If the applicant is a nonprofit organization, determination of an unreasonable economic hardship shall instead be based upon whether the denial of a certificate of appropriateness financially prevents or seriously interferes with carrying out the mission, purpose, or function of the nonprofit corporation

OR

(d) Determination of the existence of an unusual and compelling circumstance shall be based upon the following criteria:

- (1) That current information does not support the historic or archaeological significance of this building, structure or object or its importance to the integrity of an historic district, if applicable;
(2) Whether there are definite plans for reuse of the property if the proposed demolition is carried out and what effect such plans have on the architectural, cultural, historical or archaeological character of the context area; and
(3) Whether reasonable measures can be taken to save the building, structure or object from further deterioration, collapse, arson, vandalism or neglect.

District Map





Figure 1 Inventory photo of existing garage apt

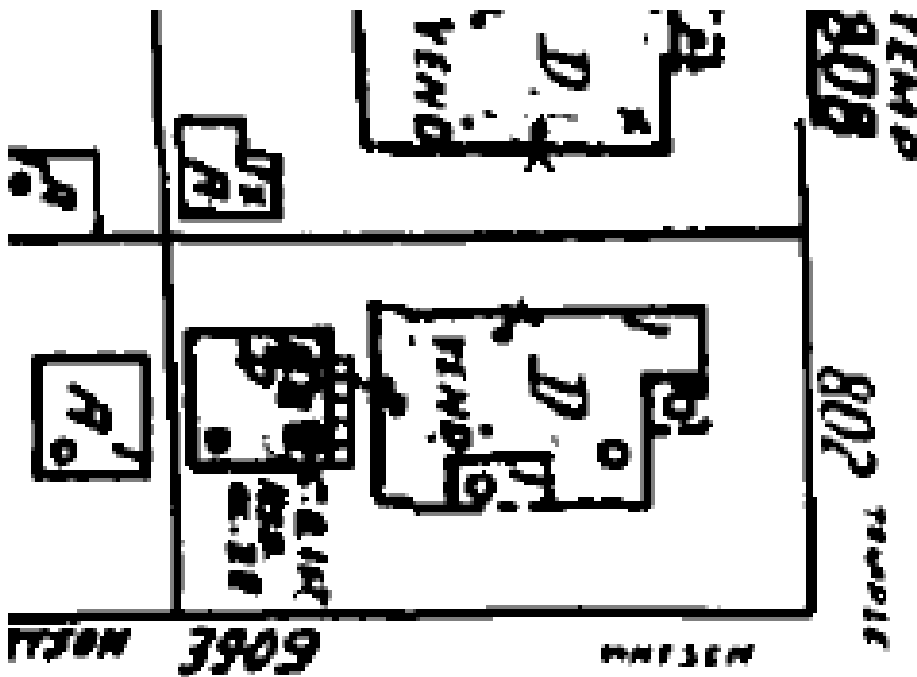




Figure 2 - Looking NW at garage apt and house



Figure 3 - Garage Foundation



Figure 4 - Garage Foundation



Figure 5 - Garage Foundation

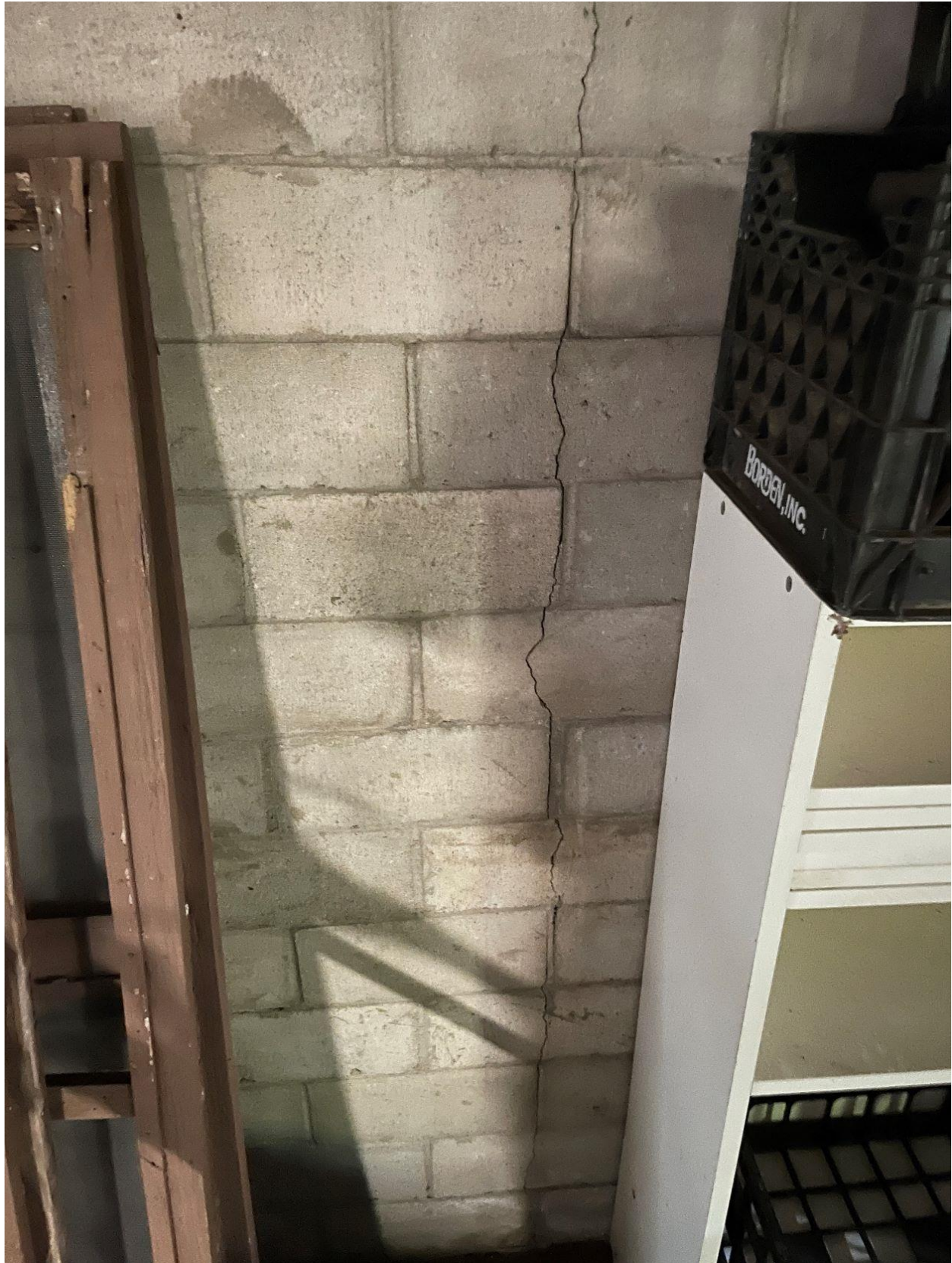
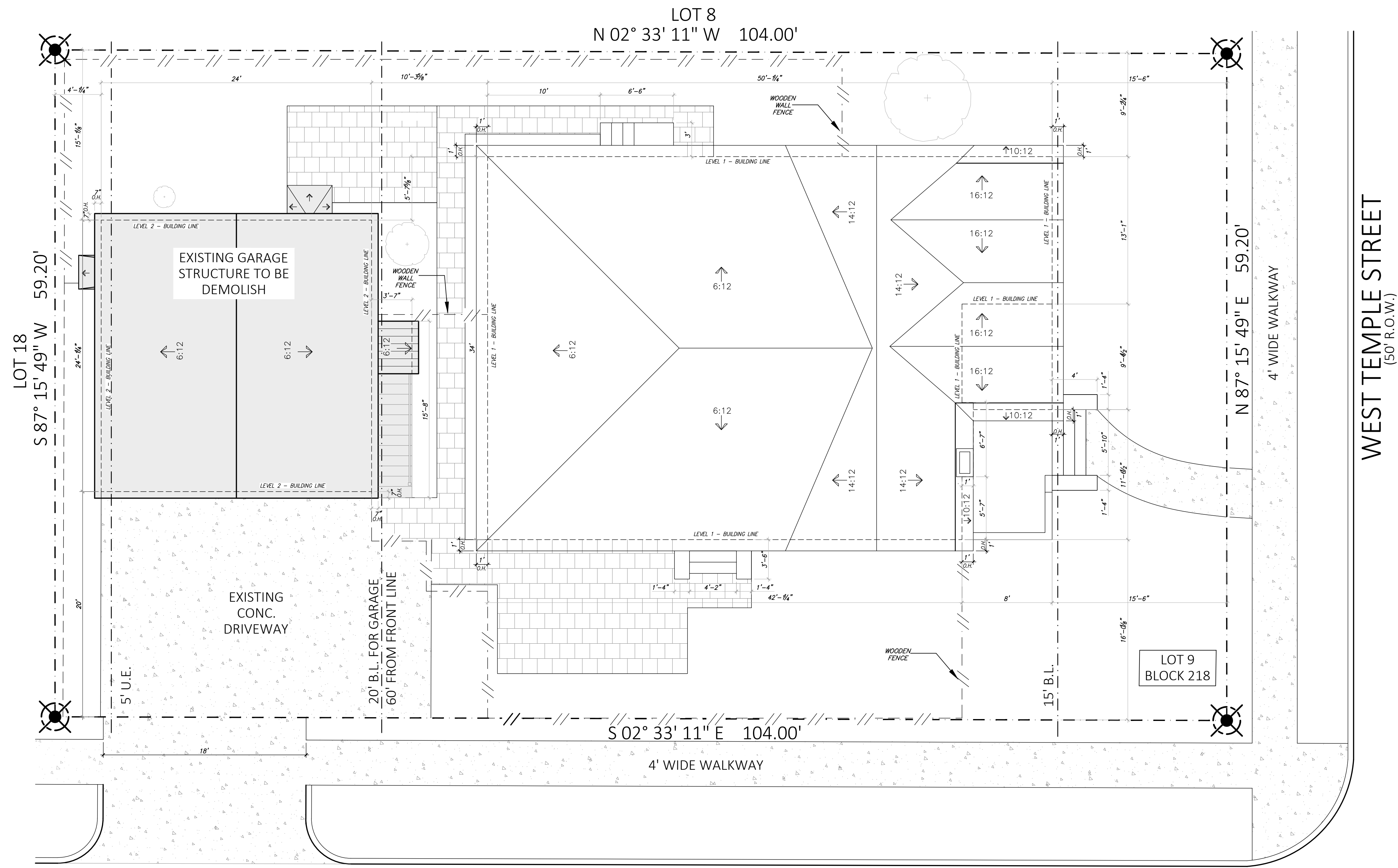
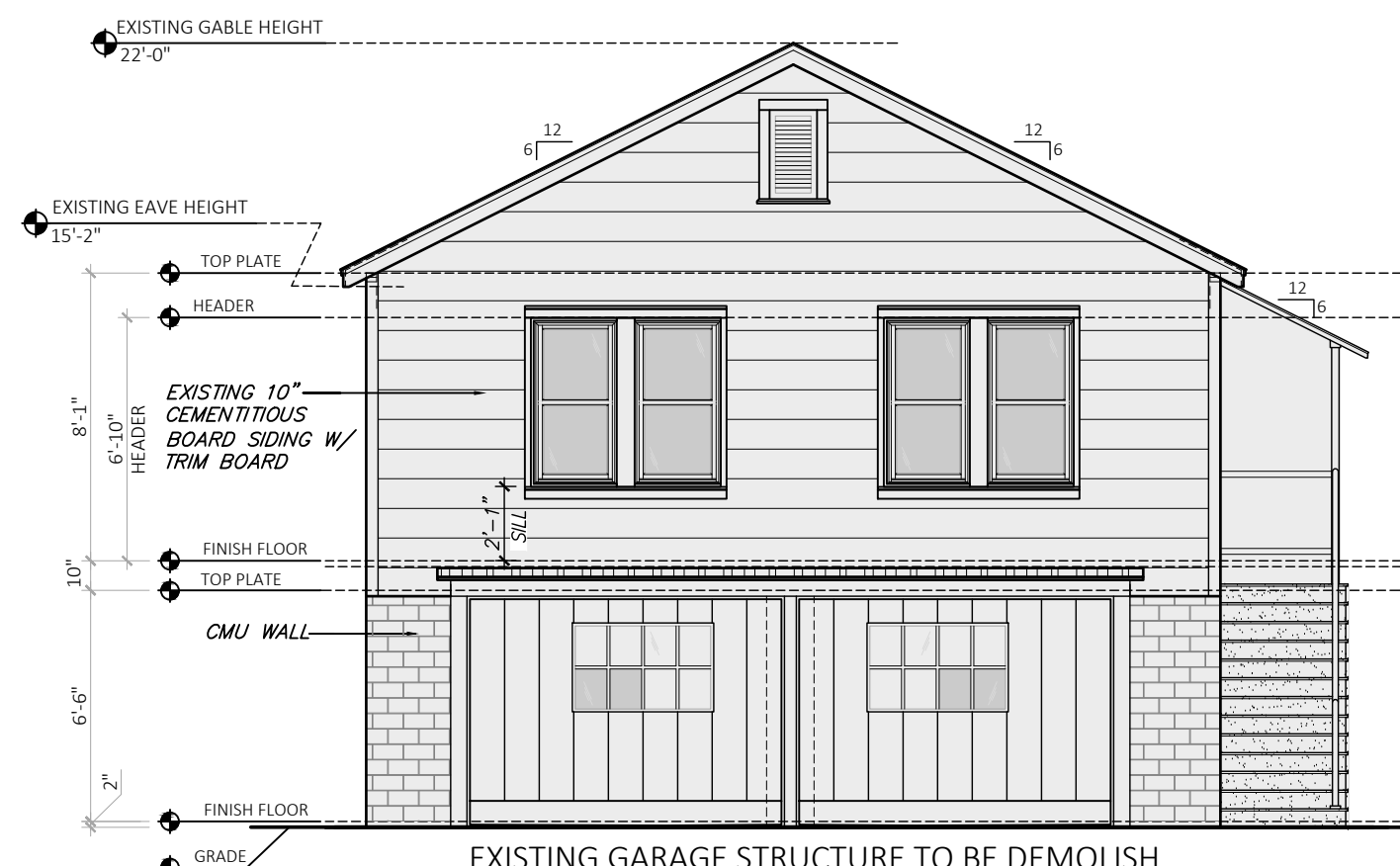


Figure 6 - Garage Wall 1st Floor

Please see attached drawings for additional details



EXISTING
SITE PLAN
 Scale: 3/16" = 1'-0"



EXISTING
LEFT ELEVATION
 Scale: 3/16" = 1'-0"

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MARK	DATE	DESCRIPTION	MARK	DATE	DESCRIPTION
1	06/28/2022	ISSUED FOR FHMC			

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WALDO RESIDENCE
 802 WEST TEMPLE
 HOUSTON, TEXAS

SHEET TITLE
EXISTING SITE PLAN AND ELEVATION

SHEET NO.
A2.5

From: [Zach Hall](#)
To: [McAllen, Roman - PD](#)
Subject: 802 Temple St
Date: Wednesday, July 27, 2022 3:13:10 PM

[Message Came from Outside the City of Houston Mail System]

Hi,

I am good friends with the Waldo's who have submitted plans for renovations at 802 Temple Street. I grew up in Houston and have lived in the heights for the past 4 years now. We really love the historic aspects of the Waldo's new home and the aesthetics it brings to Proctor park where I enjoy walking with my wife and daughter and playing the occasional tennis match (although the heat has definitely put a dampener on my game this summer). Anyways, we have reviewed the renovation plans with the Waldo's and sincerely believe that the plans will both preserve and enhance the historical charm of the home and Proctor park. The Waldo's are an amazing family, and we are excited to welcome them into the neighborhood as new homeowners.

I hope it helps to hear from some fellow Heights folk and we thank you for the work you do for our neighborhood. Please feel free to reach out if you have any questions.

Best,

Zach Hall
832-818-4507

From: [Parker Hiscox](#)
To: [PD - Historic Preservation](#); [McAllen, Roman - PD](#)
Subject: 802 W Temple St - Renovation
Date: Wednesday, July 27, 2022 3:22:39 PM

[Message Came from Outside the City of Houston Mail System]

Good afternoon Roman & Houston Archaeological and Historical Commission,

I wanted to reach out to you regarding the property at 802 W Temple St. The current owners (The Waldos) have taken me around the historical neighborhood, shown me the interior and exterior of the existing property, and walked me through their architectural renovation plans. I was impressed with the plans and believe they would fit well into the surrounding historical neighborhood.

Please let me know if you have any questions as you review their plans.

All the best,
M. Parker Hiscox 512.431.0022

From: [Anish Hariharan](#)
To: [McAllen, Roman - PD](#)
Subject: Norhill Renovations
Date: Wednesday, July 27, 2022 3:04:20 PM

[Message Came from Outside the City of Houston Mail System]

Roman,

My wife and I know the young family which is planning some work at 802 W Temple in the Houston Heights. We live on Bayland Avenue a few streets south of their home, and we have spent a lot of our free time in the Norhill neighborhood and around Proctor Park. We have seen the renovation plans which have been submitted to this Commission for 802 W Temple, and we wanted to reach out and indicate our support for the project. It is obvious to us that the family loves the house and is doing their utmost to retain all of the charm and character which makes Norhill so special, and we think the plans for the house will only enhance that charm. Thanks very much for your consideration.

Anish Hariharan
Senior Vice President
EDF Energy NA

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From: [Regina Abramova](#)
To: [McAllen, Roman - PD](#)
Subject: Recommendation - 802 W Temple (Norhill)
Date: Wednesday, July 27, 2022 3:00:51 PM

[Message Came from Outside the City of Houston Mail System]

Good Afternoon,

Upon review of the new blueprints designed for the Waldo residence, I wanted to provide this formal recommendation to the Houston Historic Preservation. I have visited the current home several times since closing and believe the current blueprints will not only maintain the integrity of the original home, but will add tremendous value to the Norhill community. Please let me know if I can be of any further assistance to you.

Warm Regards,

Regina Abramova

From: [judith holmes](#)
To: [McAllen, Roman - PD](#)
Subject: Renovation on 802 Temple Street
Date: Wednesday, July 27, 2022 3:39:31 PM
Attachments: [image001.png](#)

[Message Came from Outside the City of Houston Mail System]

Good Afternoon Mr. McAllen,

I am writing you in regards to my clients home renovation on 802 West Temple Street. After reviewing the plans sent to me by my client Tom Waldo it seems that all is in compliance with regulations from the historic preservation. The homes renovation will be an enhancement to the area. Also, Creole who is doing the renovation is very reliable and professional and do many renovations in the Heights. My clients are a lovely couple who are expanding their family and look at this home as their forever home to raise their children. Thank you for your time and consideration.

With Kind Regards,

Judith Holmes

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Judith Holmes

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C I R C A
REAL ESTATE

From: [Austin Hahn](#)
To: [PD - Historic Preservation](#); [McAllen, Roman - PD](#)
Subject: Support for 802 West Temple St Certificate of Appropriateness Applications
Date: Wednesday, July 27, 2022 3:29:26 PM
Attachments: [Support for 802 West Temple St Certificate of Appropriateness Applications.pdf](#)

[Message Came from Outside the City of Houston Mail System]

Dear Committee Members,

Please find attached a letter in support of the Waldo Family's Certificate of Appropriateness Applications for their residence located at 802 West Temple St.

As members of the Norhill community, we have thoroughly reviewed their redevelopment plans and are fully supportive of the proposal; we are confident that their plans will preserve the historic character and traditional image of the home.

All the best,
Austin Hahn and Brooke Kaiser