

CERTIFICATE OF APPROPRIATENESS**Application Date:** May 5, 2025**Applicant:** Nick Eronko, agent for, Daniel McHenry, owner**Property:** 1521 Columbia Street, Lot 7, Block 137, Houston Heights Neighborhood Subdivision. The property includes a historic 1,476 square foot, one-story wood single-family residence situated on a 6,600 square foot (50' x 132') interior lot.**Significance:** Contributing Bungalow Craftsman style residence, constructed circa 1925, located in the Houston Heights East Historic District. Harris County Building Land Assessment Survey states that the 1925 structure burned Nov. 27, 1931. BLA dated 10-2-1956, shows a side addition built on left (South) elevation.**Proposal:** Alteration: Two-Story Addition (Total: 1,262 sq. ft.)

- First floor conditioned space 185 sq. ft.
- Second floor conditioned space 679 sq. ft.
- Screened porch unconditioned space 241 sq. ft
- Open porch unconditioned space 157 sq. ft
- 4:12 roof pitch with composition shingles and max ridge height 25' 6"
- Fixed and DH, 1-over-1, inset & recessed wood windows on the addition
- Smooth 117 siding to match existing

Alteration: Existing Front Porch, Windows, and Roof Material

- Alter front porch to add brick bases with tapered columns
- Replace front door with Craftsman door
- Porch deck to be repaired as needed and add new railings, and porch steps
- Replace existing non-historic aluminum windows with DH, 1-over-1, inset & recessed wood windows
- Replace existing roof shingles with new composition shingles

Public Comment: No public comment received.**Civic Association:** No comment received.**Recommendation:** Approval**HAHC Action:** -

APPROVAL CRITERIA**ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS**

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S D NA**S - satisfies D - does not satisfy NA - not applicable**

- | S | D | NA | |
|-------------------------------------|--------------------------|--------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (1) The proposed activity must retain and preserve the historical character of the property; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (2) The proposed activity must contribute to the continued availability of the property for a contemporary use; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (3) The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (4) The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (5) The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (6) New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (7) The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (8) Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (9) The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements; |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (10) The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (11) The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area. |

HEIGHTS DESIGN GUIDELINES

- | | | | |
|-------------------------------------|--------------------------|--------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines. |
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**PLANNING &
DEVELOPMENT
DEPARTMENT**

Inventory Photo



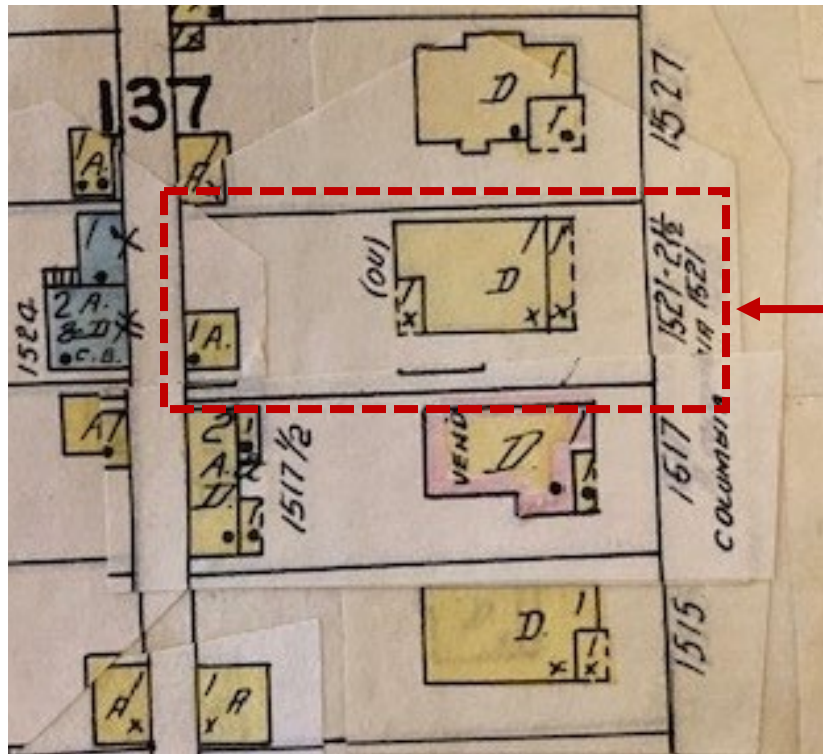
Existing Photos Provided By Applicant



Existing Photos Provided By Applicant



1925 Sanborn



Harris County Building Land Assessment Survey (page 2): 4-15-1932

Page _____

4-15-1932

Renner G. M. Owner

Lot 4 Block 137

Houston Heights Addition

REMARKS:

Burned Nov 27, 1931
@cancel.

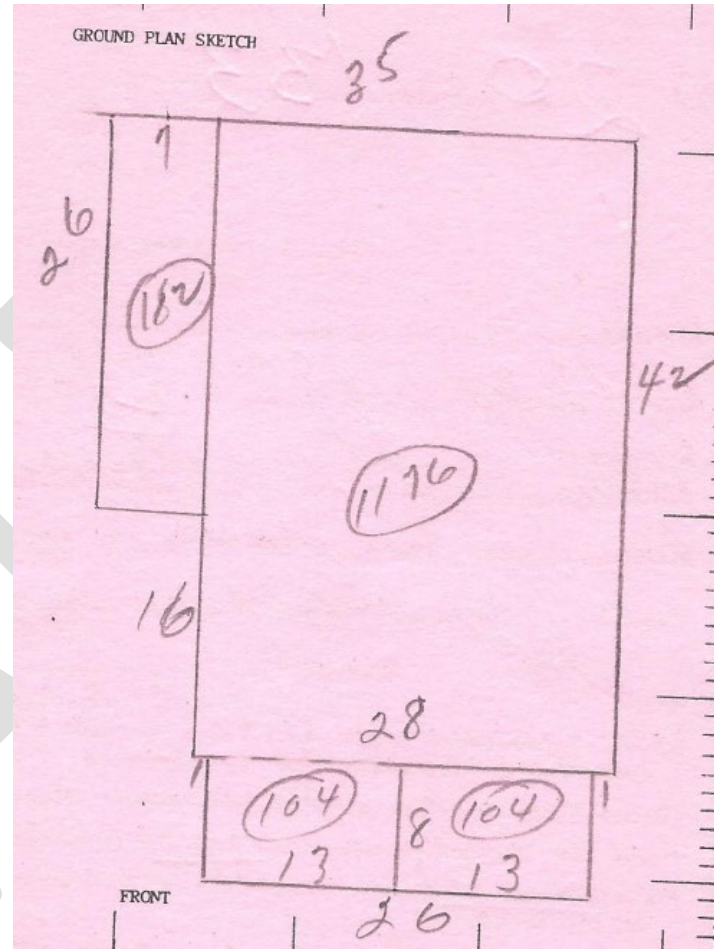
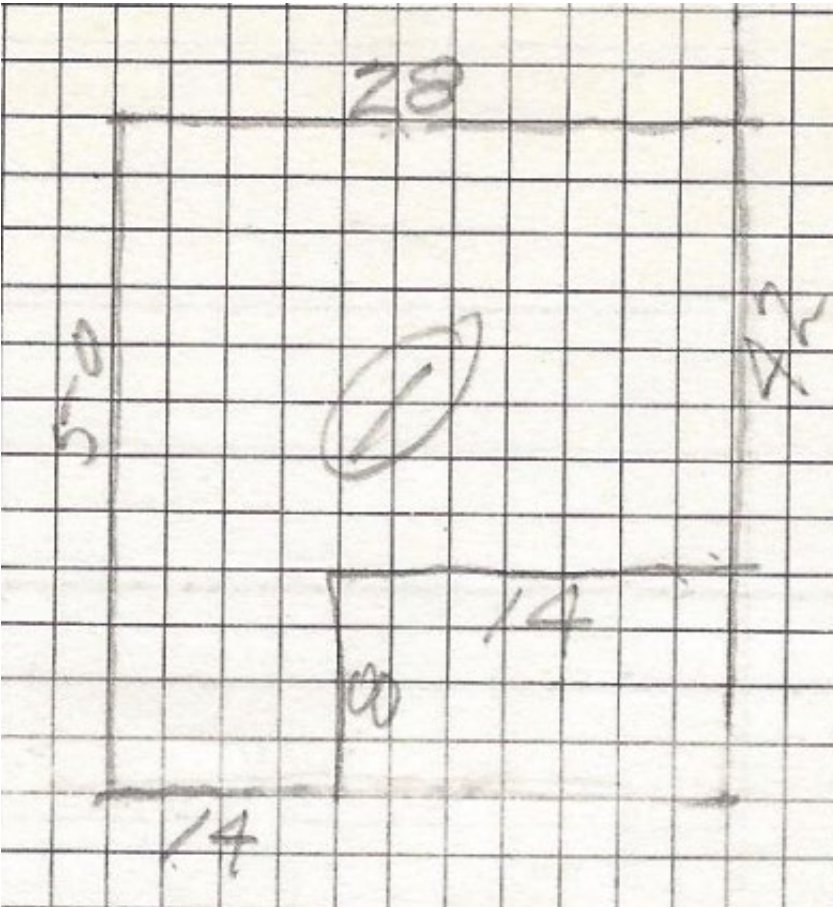
1932

County Value \$ 1050

Harris County Building Land Assessment Survey:

Post-1932

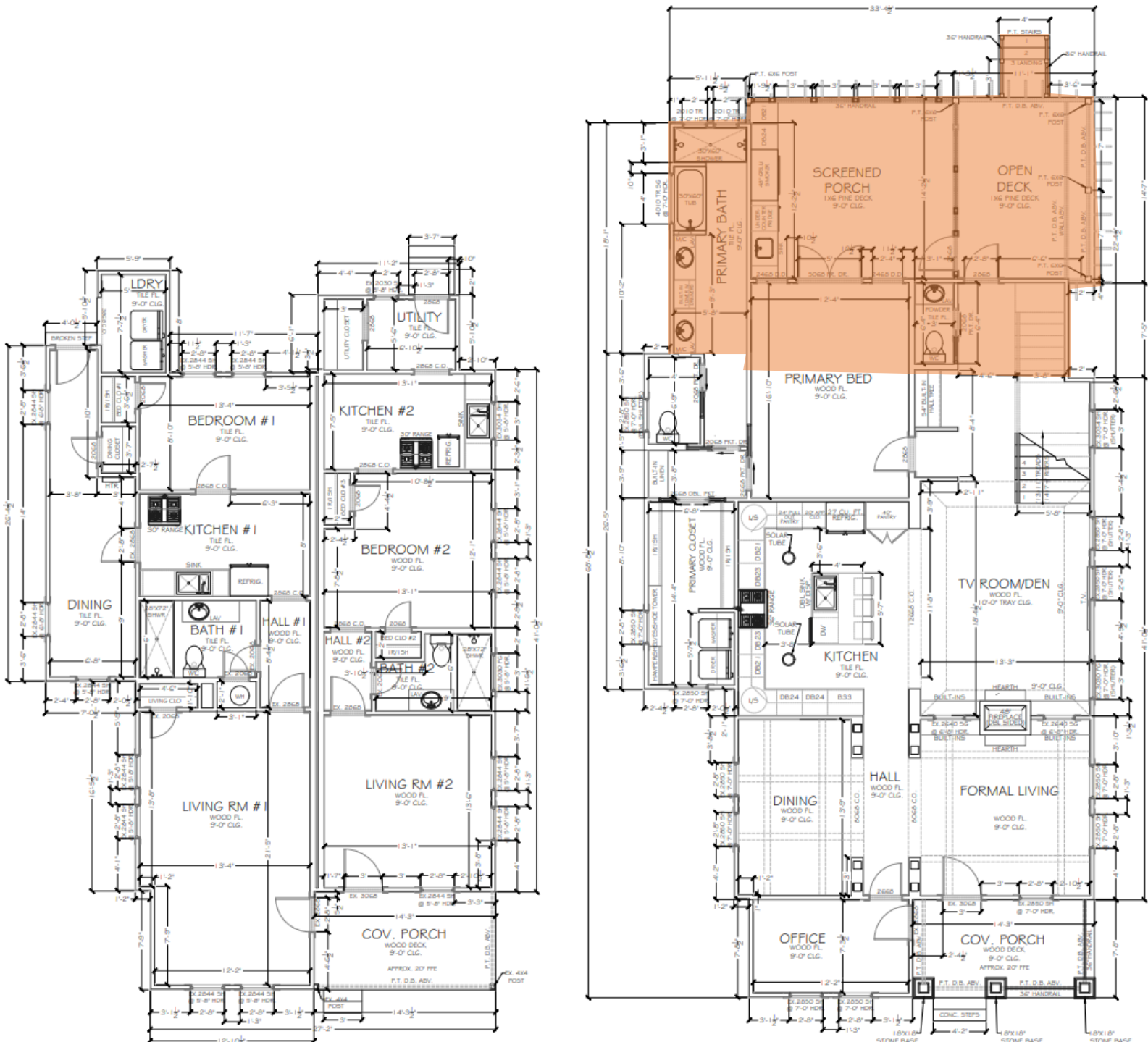
10-2-1956



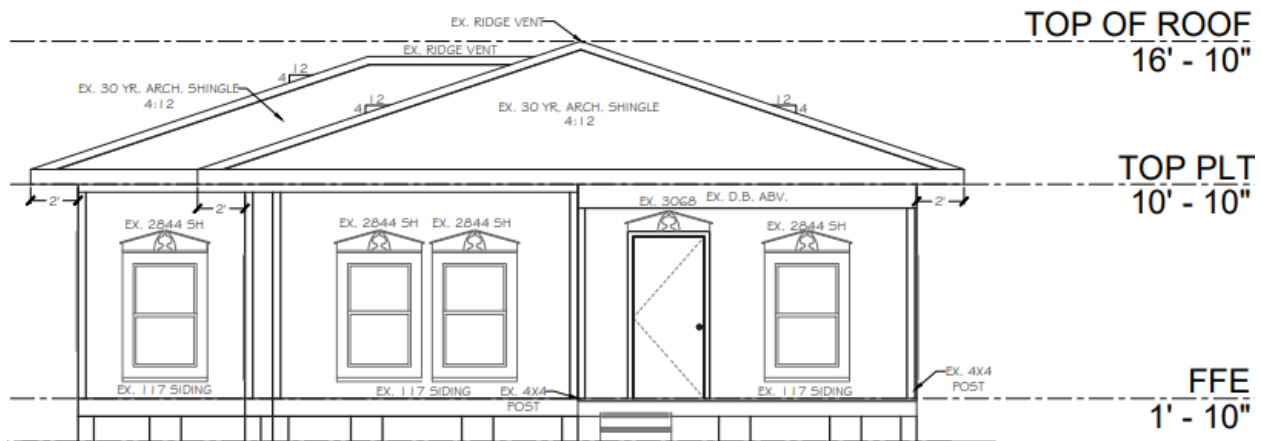
Google Satellite Image: 1521 Columbia St



Existing and Proposed First Floor Plan



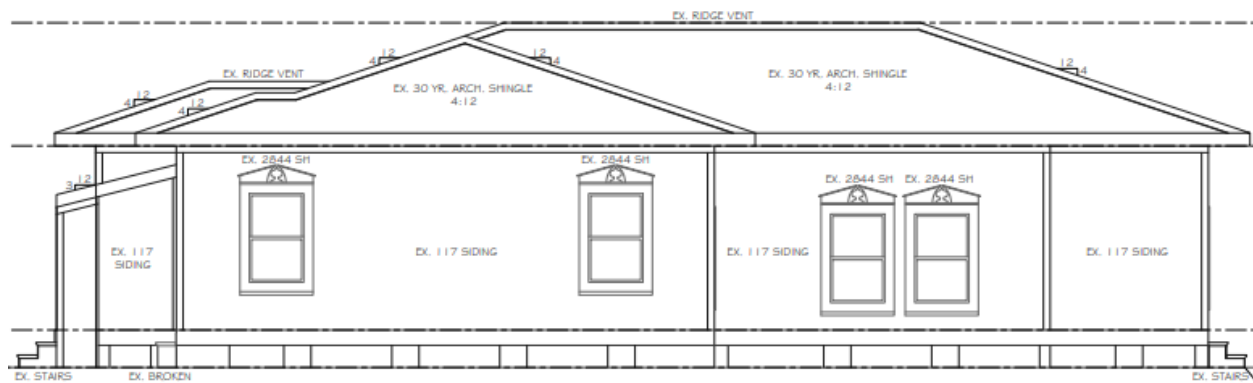
Existing Front (East) Elevation



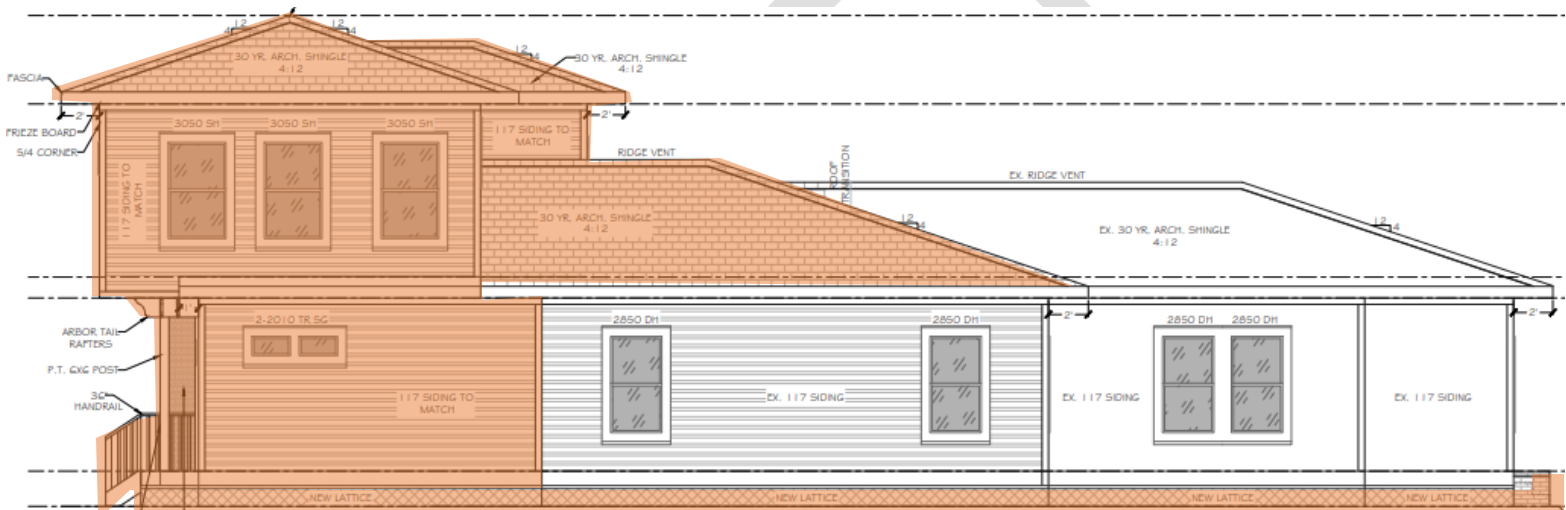
Proposed Front (East) Elevation



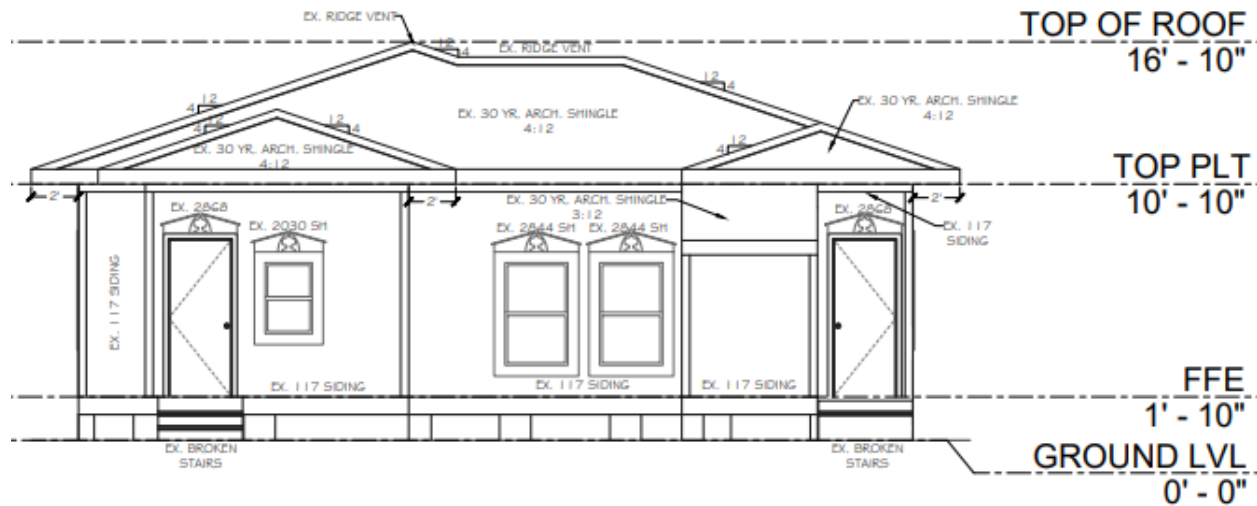
Existing Left (South) Elevation



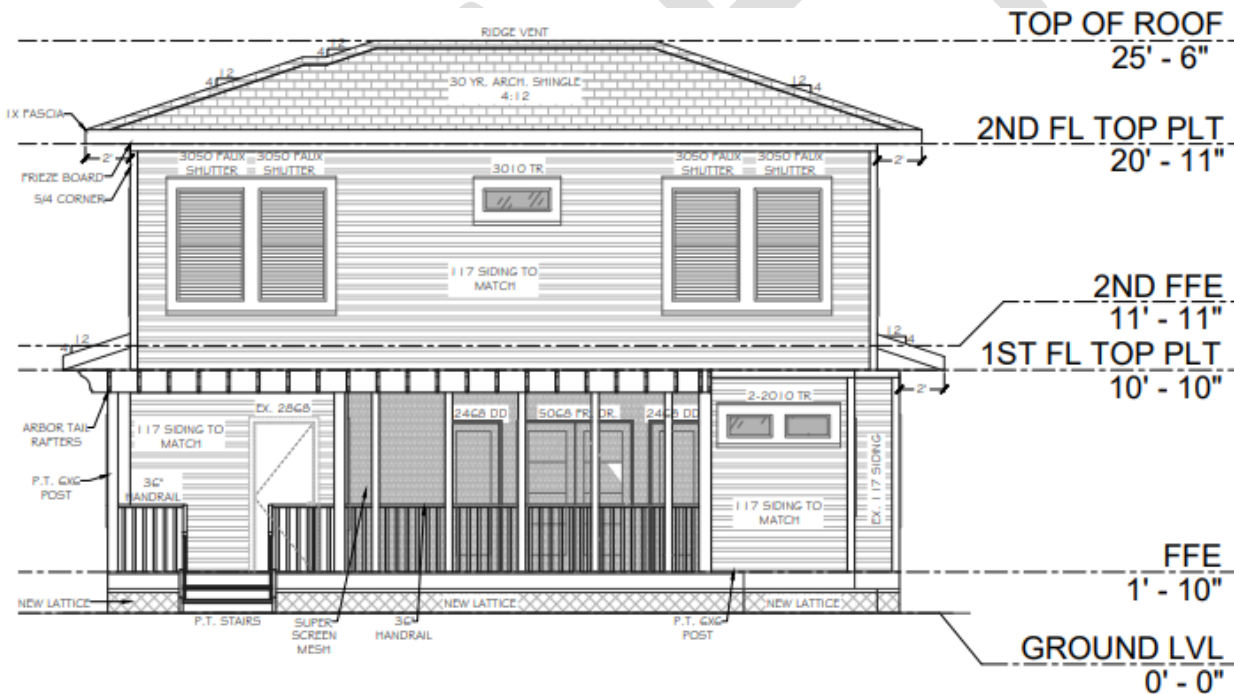
Proposed Left (South) Elevation



Existing Rear (West) Elevation



Proposed Rear (West) Elevation



Existing and Proposed Window/Door Schedule**1521 Columbia St****Existing Window Schedule**

Mark	Size	Qty	Sash Material	Style	Glazing	Remarks
W1	2844	14	aluminum	single hung	single	to replace
W2	3030	1	aluminum	single hung	single	to replace
W3	3034	1	aluminum	single hung	single	to replace
W4	2030	1	aluminum	single hung	single	to replace

Proposed Window Schedule

Mark	Size	Qty	Sash Material	Style	Glazing	Remarks
W5	2850	9	Wood	double hung	double pane	New
W6	2010	4	Wood	fixed	stained glass	New
W7	3050	5	Wood	double hung	double pane	New
W8	3050	1	Wood	Fixed	stained glass	New
W9	3010	2	Wood	Fixed	double pane	New
W11	2820	3	Wood	double hung	double pane	New

Note: to create shuttered window openings marked ERS on plan.

Will have to recreate to scale window opening though no window will be present.

Existing Door Schedule

Mark	Size	Qty	Interior/Exteri	Material	Style	Remarks
D1	3068	1	Exterior	wood	flush	to replace
D2	2868	1	Exterior	wood	3 lite half panel	to replace
D3	2868	1	Exterior	wood	flush	to remove
D4	2868	1	Exterior	wood	4 lite half panel	to remove

Proposed Door Schedule

Mark	Size	Qty	Interior/Exteri	Material	Style	Remarks
D5	3068	1	Exterior	Wood	Bungalow Style	New
D6	2868	1	Exterior	Wood	Bungalow Style	New
D7	2868	1	Exterior	Wood	single lite	New
D8	6068	1	Exterior	Wood	single lite unit	New
D9	2468	2	Exterior	Wood	single lite fixed	New
D11	3068	1	Exterior	Wood	single panel	New

S D NA

S - satisfies D - does not satisfy NA - not applicable☒ ☐ ☐Maximum Lot Coverage (Addition and New Construction)

LOT SIZE	MAXIMUM LOT COVERAGE
<4000	.44 (44%)
4000-4999	.44 (44%)
5000-5999	.42 (42%)
6000-6999	.40 (40%)
7000-7999	.38 (38%)
8000+	.38 (38%)

Existing Lot Size: 6,600

Max. Allowed: 2,640

Proposed Lot Coverage: 2,059

Remaining Amount: 581

☒ ☐ ☐Maximum Floor Area Ratio (Addition and New Construction)

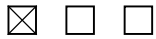
LOT SIZE	MAXIMUM FAR
<4000	.48
4000-4999	.48
5000-5999	.46
6000-6999	.44
7000-7999	.42
8000+	.40

Existing Lot Size: 6,600

Max. FAR Allowed: 2,904

Proposed FAR: 2,756

Remaining Amount: 148

Side Wall Length and Insets (Addition and New Construction)

MEASUREMENT	APPLICATION
50 FT.	Maximum side wall length without inset (1-story)
40 FT.	Maximum side wall length without inset (2-story)
1 FT.	Minimum depth of inset section of side wall (1-story)
2 FT.	Minimum depth of inset section of side wall (2-story)
6 FT.	Minimum length of inset section of side wall

Side Wall Length: 26' 5"

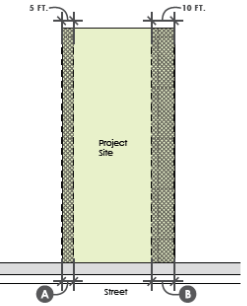
Inset Length on North Elevation: 7'-5"

Inset on North side: 2'

Inset on South side: 2'

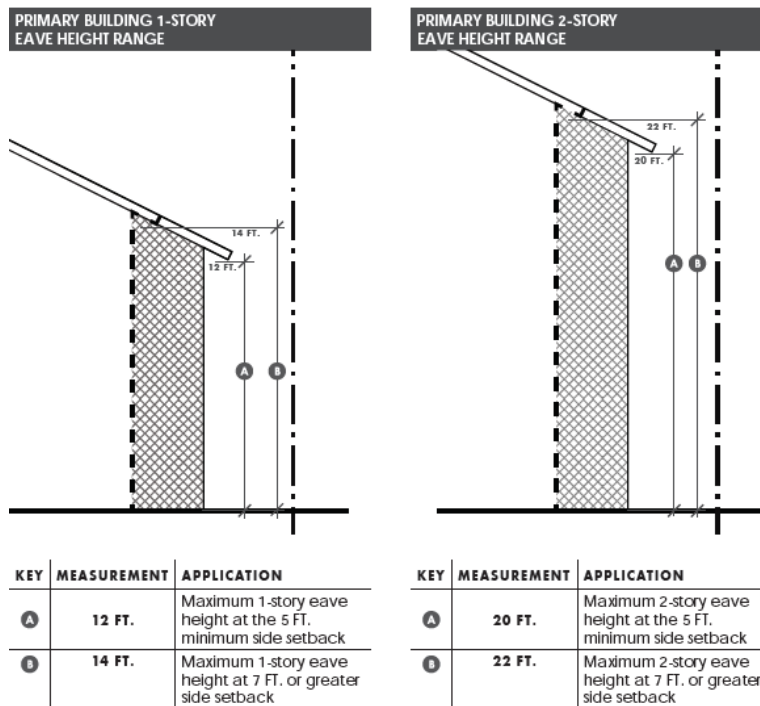
Side Setbacks (Addition and New Construction)

KEY	MEASUREMENT	APPLICATION
A	3 FT.	Minimum distance between side wall and the property line for lots less than 35 feet wide
	5 FT.	Minimum distance between the side wall and the property line
B	REMAINING	Difference between minimum side setback of 5 feet and minimum cumulative side setback
C	6 FT.	Minimum cumulative side setback for lots less than 35 feet wide
	10 FT.	Minimum cumulative side setback for a one-story house
	15 FT.	Minimum cumulative side setback for a two-story house



Note: This diagram shows just one example of a side setback configuration.

Proposed Left side setback (1): 12.8'Proposed Right side setback (2): 5'Cumulative side setback: 17.8'Eave Height (Addition and New Construction)



Proposed eave height on Right Elevation: 20' 11"

Proposed eave height on Left Elevation: 20' 11"

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Rear Setbacks (Addition and New Construction)

The City of Houston requires a minimum setback of three feet from the rear property line for all properties, except under the following circumstances:

- A front-facing garage which is located with its rear wall at the alley may have a zero-foot setback.
- An alley-loading garage generally must be located to establish a minimum of 20 feet of clearance from an opposing alley-loading garage door, the rear wall of a front-facing garage, or a fence; a 24-foot clearance is preferred.

Proposed rear setback: 19'

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Porch Eave Height (Addition and New Construction)

MEASUREMENT	APPLICATION
9-11 FT.	Minimum and maximum 1-story porch eave height.

Proposed porch eave height: 9' 11"

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Building Wall (Plate) Height (Addition and New Construction)

MEASUREMENT	APPLICATION
36 IN.	Maximum finished floor height (as measured at the front of the structure)
10 FT.	Maximum first floor plate height
9 FT.	Maximum second floor plate height

Proposed finished floor: 1'-10"

Proposed first floor plate height: 10'

Proposed second floor plate height: 9'

The following measurable standards are not applicable to this project:

- Front Setbacks
- Rear Setbacks
- Front Wall Width and Insets
- Front Porch Width and Depth
- Porch Eave Height