

CERTIFICATE OF APPROPRIATENESS

Application Date: 5/22/2025

Applicant: Elie Stephen, owner; Sam Gianukos, agent

Property: 1207 Tulane, Lt 15 & Trs 14 & 16A Blk 182, Houston Heights, 7,260 SF Lot

Significance: Non-contributing 7,260 SF Lot

Proposal: New house

- 2-story house with detached garage apartment of 528 SF. (separate AA COA)
- 3,038 SF single-family residence
- Complies with Heights DGs including measurable standards
- New windows installed per diagram attached

Public Comment: No public comment received.

Civic Association: No comment received.

Recommendation: Approval

HAHC Action: -

CERTIFICATE OF APPROPRIATENESS

Basis for Issuance:

Effective:



**PLANNING &
DEVELOPMENT
DEPARTMENT**

COA valid for two years from effective date. COA is in addition to any other permits or approvals required by municipal, state and federal law. Permit plans must be stamped by Planning & Development Department for COA compliance prior to submitting for building or sign permits. Any revisions to the approved project scope may require a new COA.

APPROVAL CRITERIA**NEW CONSTRUCTION IN A HISTORIC DISTRICT**

Sec. 33-242(a): HAHC shall issue a certificate of appropriateness for new construction in a historic district upon finding that the application satisfies the following criteria:

S D NA**S - satisfies D - does not satisfy NA - not applicable**

- | | |
|---|--|
| ☒ ☐ ☐ | (1) The distance from the property line of the front and side walls, porches, and exterior features of any proposed new construction must be compatible with the distance from the property line of similar elements of existing contributing structures in the context area; |
| ☒ ☐ ☐ | (2) The exterior features of the new construction must be compatible with the exterior features of existing contributing structures in the context area; |
| ☒ ☐ ☐ | (3) The scale and proportions of the new construction, including the relationship of the width and roofline, overall height, eave height, foundation height, porch height, roof shape, and roof pitch, and other dimensions to each other, must be compatible with the typical scale and proportions of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical scale and proportions; |
| ☒ ☐ ☐ | (4) The height of the new construction must not be taller than the typical height of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical height, except that:

(a) Design guidelines for an individual historic district may provide that a new construction with two stories may be constructed in a context area with only one-story contributing structures as long as the first story of the new construction has proportions compatible with the contributing structures in the context area, and the second story has similar proportions to the first story; and

(b) A new construction shall not be constructed with more than one story in a <u>historic district</u> that is comprised entirely of one-story contributing structures, except as provided for in design guidelines for an individual historic district. |

HEIGHTS DESIGN GUIDELINES MEASURABLE STANDARDS

S D NA S - satisfies D - does not satisfy NA - not applicable

☒ ☐ ☐ Maximum Lot Coverage (Addition and New Construction)

LOT SIZE	MAXIMUM LOT COVERAGE
<4000	.44 (44%)
4000-4999	.44 (44%)
5000-5999	.42 (42%)
6000-6999	.40 (40%)
7000-7999	.38 (38%)
8000+	.38 (38%)

Existing Lot Size: 7,260 SF
Max. Allowed: 2,759
Proposed Lot Coverage: 2,105 Meets

☒ ☐ ☐ Maximum Floor Area Ratio (Addition and New Construction)

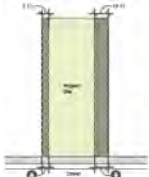
LOT SIZE	MAXIMUM FAR
<4000	.48
4000-4999	.48
5000-5999	.46
6000-6999	.44
7000-7999	.42
8000+	.40

Existing Lot Size: 7,260 SF
Max. FAR Allowed: 3,049
Proposed FAR: 3,038 Meets

☒ ☐ ☐ Side Wall Length and Insets (Addition and New Construction)

MEASUREMENT	APPLICATION
50 FT.	Maximum side wall length without inset (1-story)
40 FT.	Maximum side wall length without inset (2-story)
1 FT.	Minimum depth of inset section of side wall (1-story)
2 FT.	Minimum depth of inset section of side wall (2-story)
6 FT.	Minimum length of inset section of side wall

Side Wall Length: 38'
Inset 2' on the south side and 11' on the north. Meets

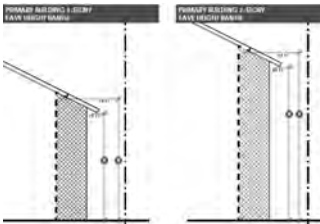
Side Setbacks (Addition and New Construction)


KEY	MEASUREMENT	APPLICATION
1	3 FT.	Minimum distance between side wall and the property line for lots less than 35 feet wide
2	5 FT.	Minimum distance between the side wall and the property line
3	REMAINING	Difference between minimum side setback of 5 feet and minimum cumulative side setback
4	6 FT.	Minimum cumulative side setback for lots less than 35 feet wide
5	10 FT.	Minimum cumulative side setback for a one-story house
6	15 FT.	Minimum cumulative side setback for a two-story house

Notes: This diagram shows just one example of a side setback configuration.

Proposed side setback (1): 5'

Proposed side setback (2): 20' Meets

Eave Height (Addition and New Construction)


KEY	MEASUREMENT	APPLICATION
1	15 FT.	Maximum 1-story eave height as measured at the side wall
2	18 FT.	Maximum 1-story eave height as measured at the side wall
3	20 FT.	Maximum 2-story eave height as measured at the side wall
4	22 FT.	Maximum 2-story eave height as measured at the side wall

Proposed eave height: 20' meets

Rear Setbacks (Addition and New Construction)

The City of Houston requires a minimum setback of three feet from the rear property line for all properties, except under the following circumstances:

- A front-facing garage which is located with its rear wall at the alley may have a zero-foot setback.
- An alley-loading garage generally must be located to establish a minimum of 20 feet of clearance from an opposing alley-loading garage door, the rear wall of a front-facing garage, or a fence; a 24-foot clearance is preferred.

Proposed rear setback: 22' to house 7' to proposed new garage on separate app both meet

Building Wall (Plate) Height (Addition and New Construction)

MEASUREMENT	APPLICATION
36 IN.	Maximum finished floor height (as measured at the front of the structure)
10 FT.	Maximum first floor plate height
9 FT.	Maximum second floor plate height

9' and 9' meets

DISTRICT MAP

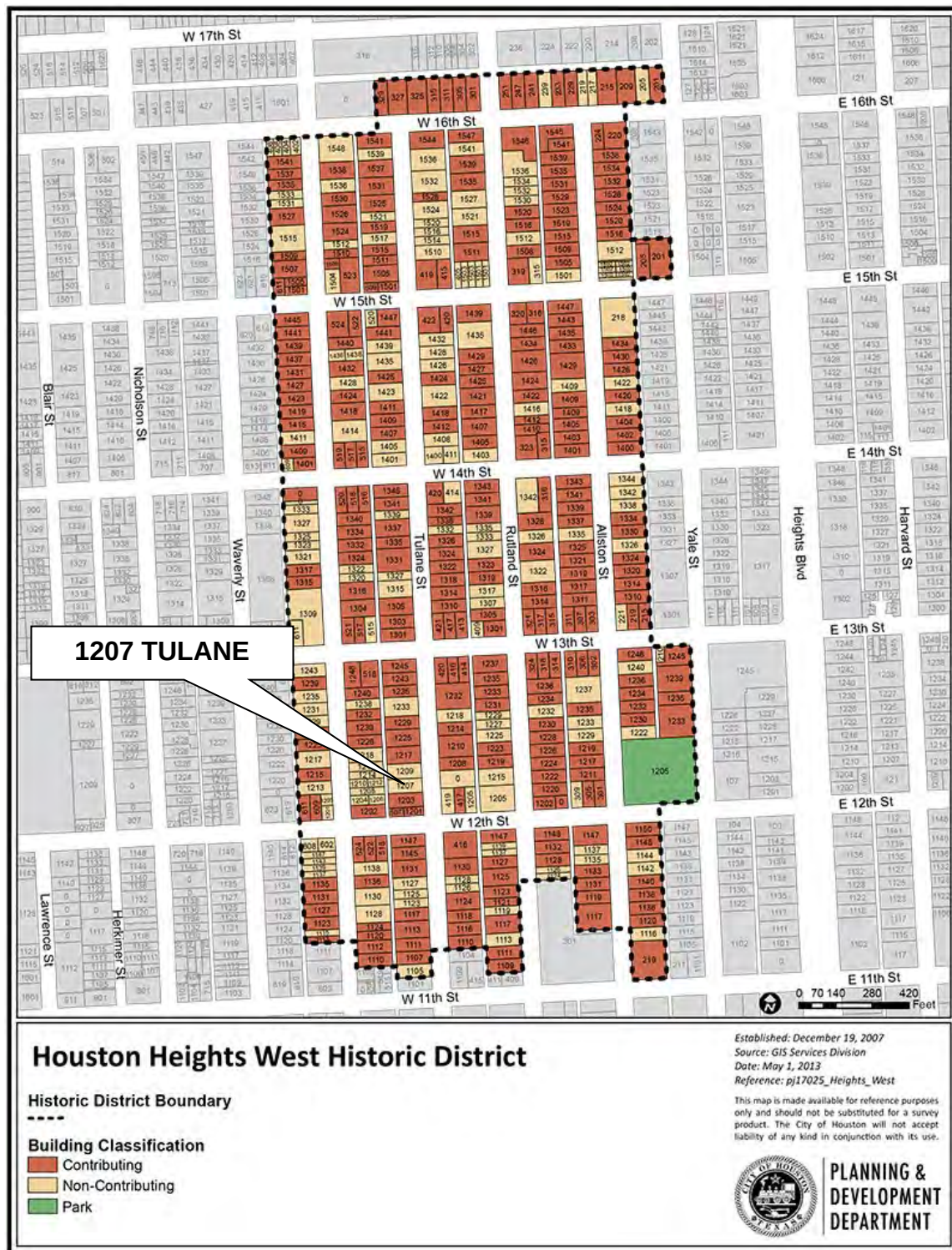




Figure 1 – Inventory Photo



Figure 2 - Non-Contributing House at Site to be Razed



Figure 3 - House to the Left of Site



Figure 4 - 2-story, Circa 2006, Non-Contrib. House to Right



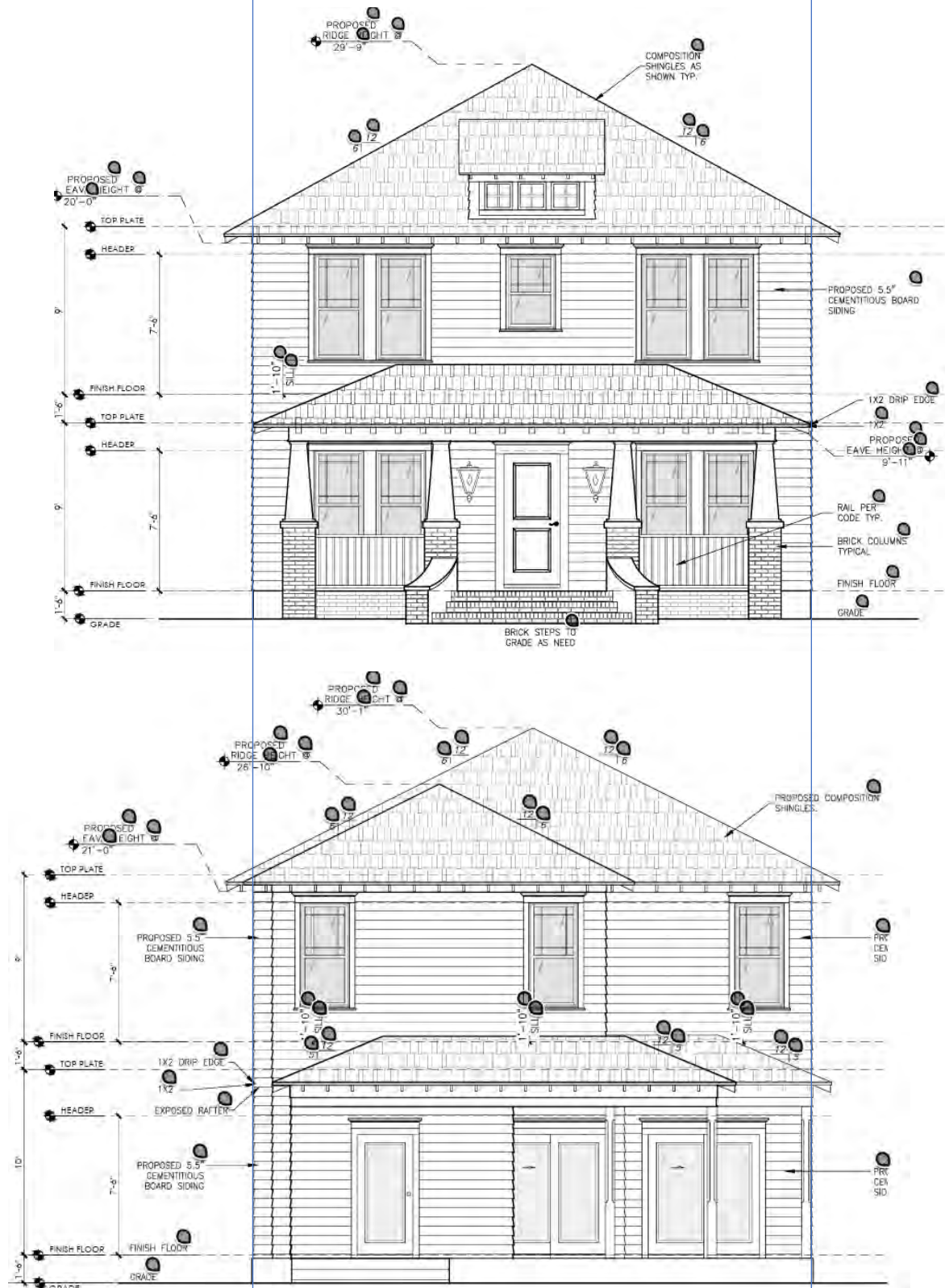
Figure 5 - Contributing House in Context Area, 419 W. 12th

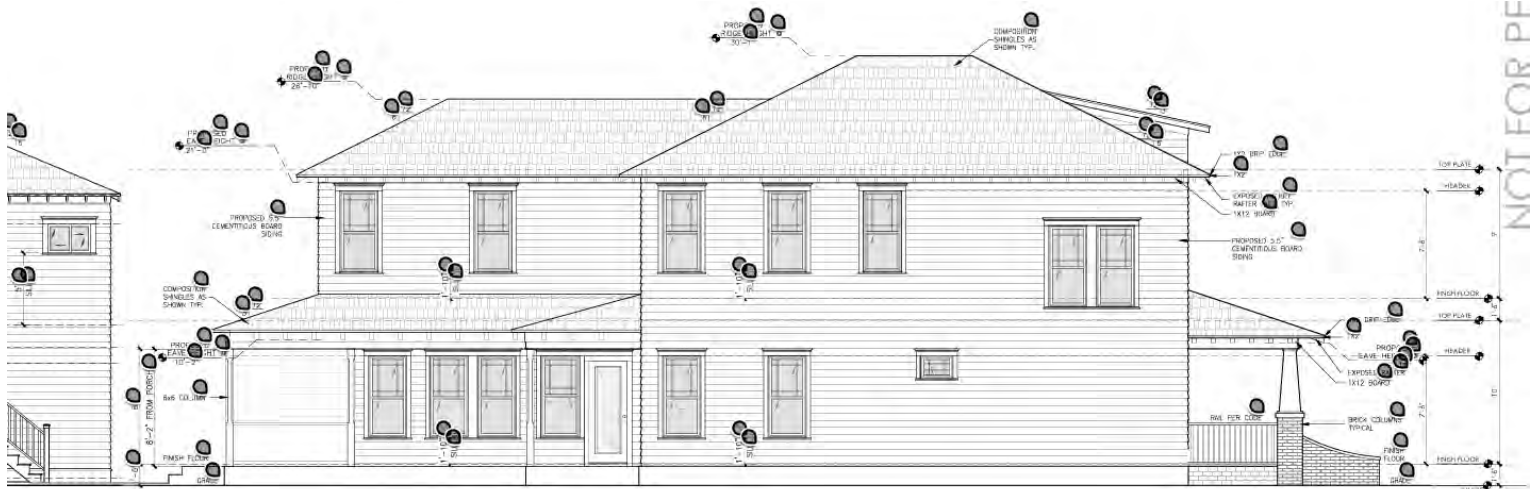


Figure 6 - 1208 Tulane, Diagonally Across from Subject Site



Figure 7 - Contributing Home in Blockface at 1229 Tulane



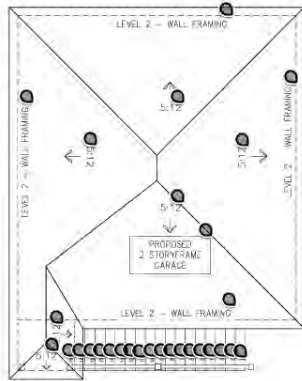


PROPOSED
NORTH ELEVATION
Scale: 1/4"= 1'-0"

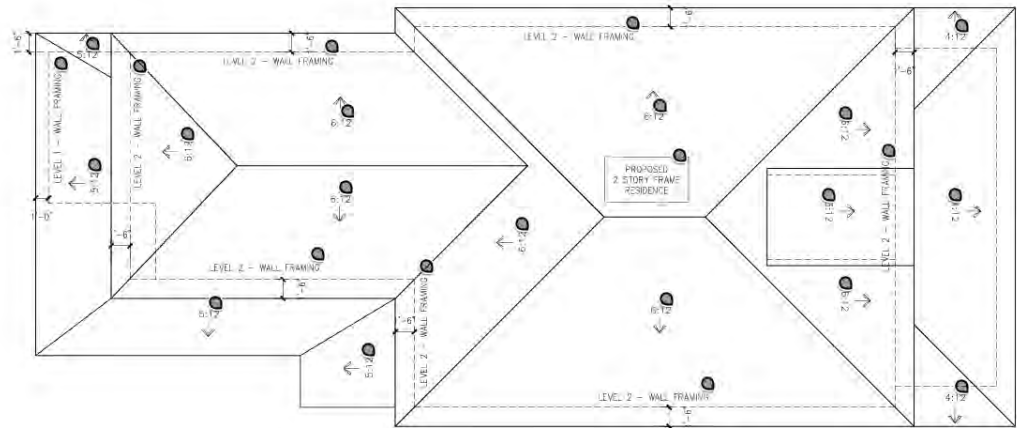


PROPOSED
SOUTH ELEVATION
Scale: 1/4"= 1'-0"

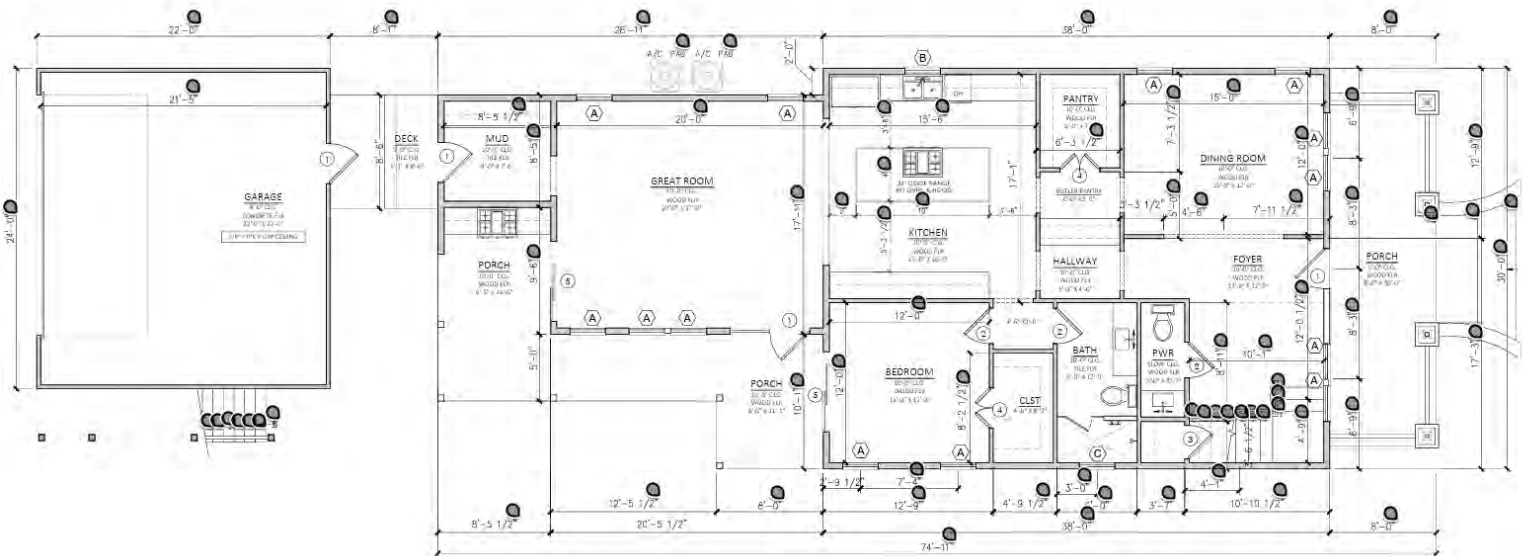
NOT FOR PERMIT



PROPOSED
GARAGE ROOF PLAN

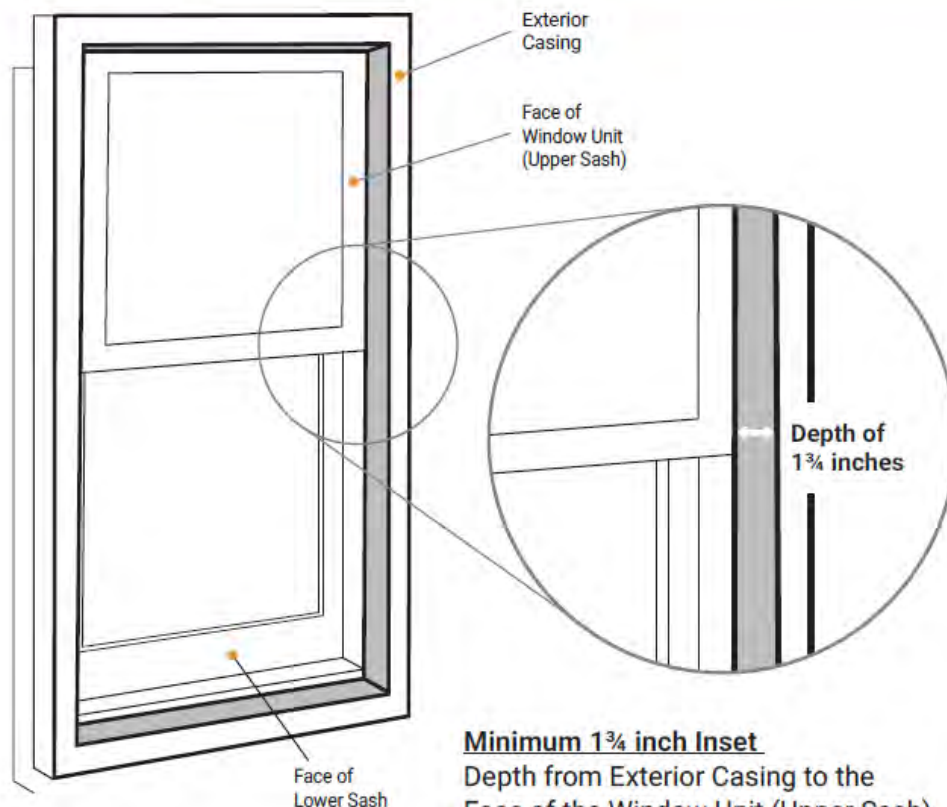


PROPOSED
ROOF PLAN



Please See Attached Drawing Set for Additional Details

ATTACHMENT A – WINDOW INSET RECESSED DIAGRAM



Minimum 1 3/4 inch Inset

Depth from Exterior Casing to the Face of the Window Unit (Upper Sash)

Windows must be 1-over-1
(equally horizontally divided)

1 3/4 inch minimum inset for Fixed Window

For more information contact:

Houston Office of Preservation

832-393-6556

historicpreservation@houstontx.gov

City of Houston | Planning and Development | Houston Office of Preservation

NOT FOR PERMIT

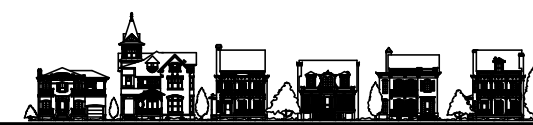


STEPHAN RESIDENCE

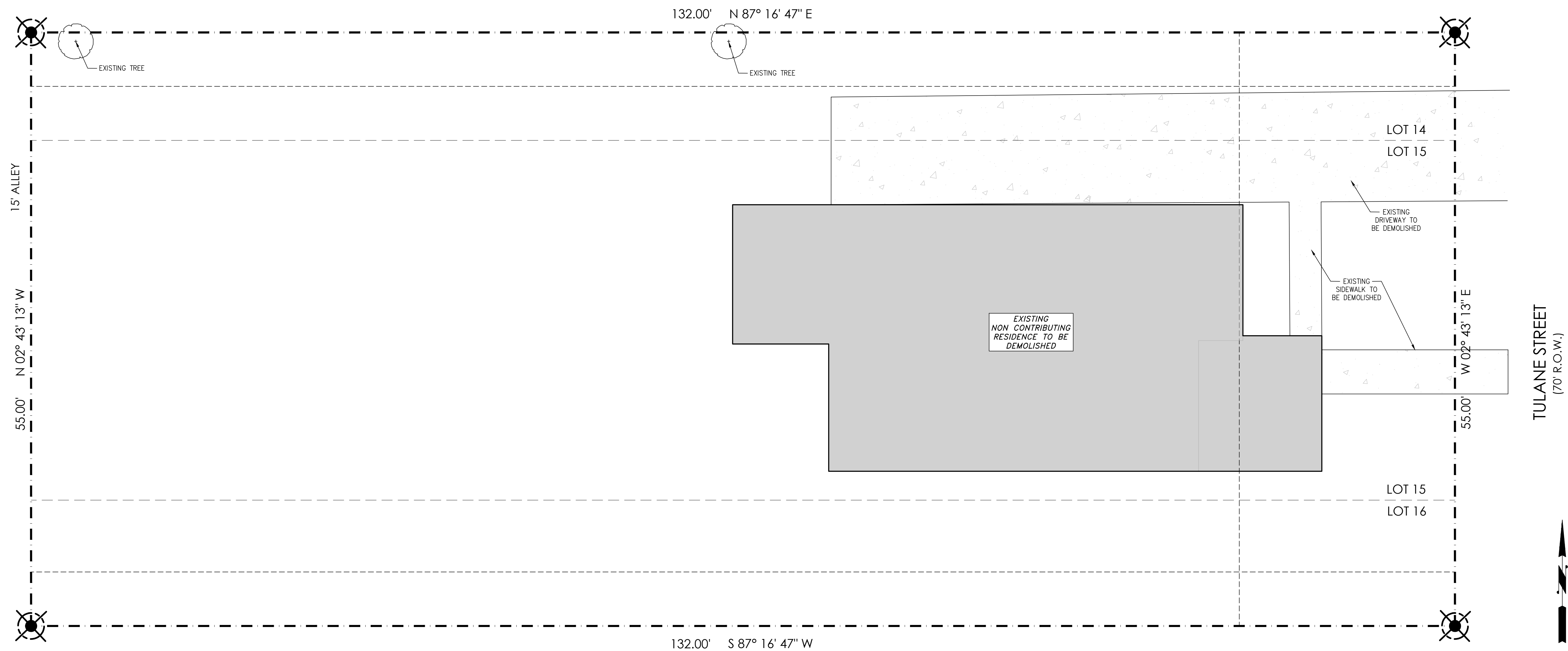
1207 TULANE STREET
HOUSTON, TEXAS 77008

CREOLE DESIGN L.L.C

505 MERRILL
HOUSTON, TX 77009
(713)880-3158



NOT FOR PERMIT



EXISTING
SITE PLAN
Scale: 3/16"= 1'-0"

LEGAL DESCRIPTION
LOT 1 BLOCK: 37 WOODLAND HEIGHTS HOUSTON, TEXAS

NOT FOR PERMIT

CREOLE
DESIGN L.L.C
CREOLEDESIGN.COM

505 MERRILL
HOUSTON, TX
(713)880-3158

MEMBER:

A I B D

N-C-B-D-C



**AMERICAN INSTITUTE OF
BUILDING DESIGN**

THIS DRAWING, AND RELATED
DRAWINGS, REMAIN THE PROPERTY
OF CREOLE DESIGN & ARE NOT
TO BE REPRODUCED OR COPIED, IN
WHOLE OR IN PART WITHOUT THE
EXPRESSED WRITTEN CONSENT FROM
CREOLE DESIGN.

[illegible]

RESIDENCE NAME
1207 TULANE STREET
HOUSTON, TEXAS 77008

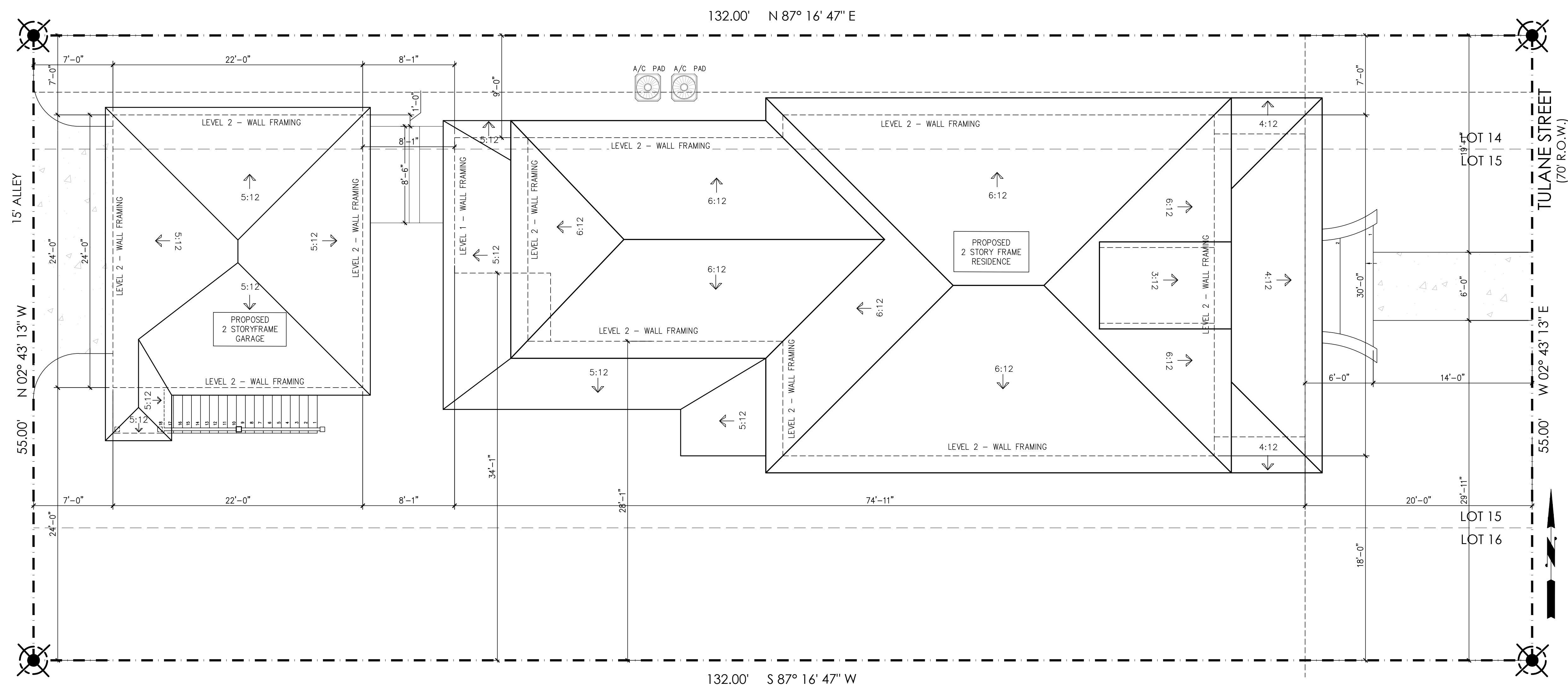
SHEET TITLE

EXISTING
SITE
PLAN

SHEET NO.

A0.1

NOT FOR PERMIT



PROPOSED
SITE PLAN
Scale: 3/16"= 1'-0"

LEGAL DESCRIPTION
LOT 1
BLOCK: 37
WOODLAND HEIGHTS
HOUSTON, TEXAS

PROPOSED CALCULATION OF IMPERVIOUS PERCENTAGE	
HOUSE / GARAGE	2,105 SQ. FT.
DRIVEWAY / SIDEWALK	230 SQ. FT.
TOTAL OF IMPERVIOUS COVER	2,335 SQ. FT.
LOT AREA	7,260 SQ. FT.
PERCENTAGE OF IMPERVIOUS AREA	32.1 %

NOT FOR PERMIT

CREOLE
DESIGN L.L.C.
CREOLEDIGN.COM

505 MERRILL
HOUSTON, TX
(713)880-3158

MEMBER:

A I B D

N. C. S. D. B. C.
NATIONAL SOCIETY OF
DRAFTING BOARD CERTIFICATION
SINCE 1905

**AMERICAN INSTITUTE OF
BUILDING DESIGN**

THIS DRAWING, AND RELATED
DOCUMENTS, REMAIN THE PROPERTY
OF CREOLE DESIGN & ARE NOT
TO BE REPRODUCED OR COPIED, IN
WHOLE OR IN PART WITHOUT THE
EXPRESSED WRITTEN CONSENT FROM
CREOLE DESIGN.

[illegible]

RESIDENCE NAME
1207 TULANE STREET
HOUSTON, TEXAS 77008

SHEET TITLE

PROPOSED
SITE
PLAN

SHEET NO.

A0.2

CROLE
DESIGN L.L.C.
CROLEDESIGN.COM

505 MERRILL
HOUSTON, TX
(713)880-3158

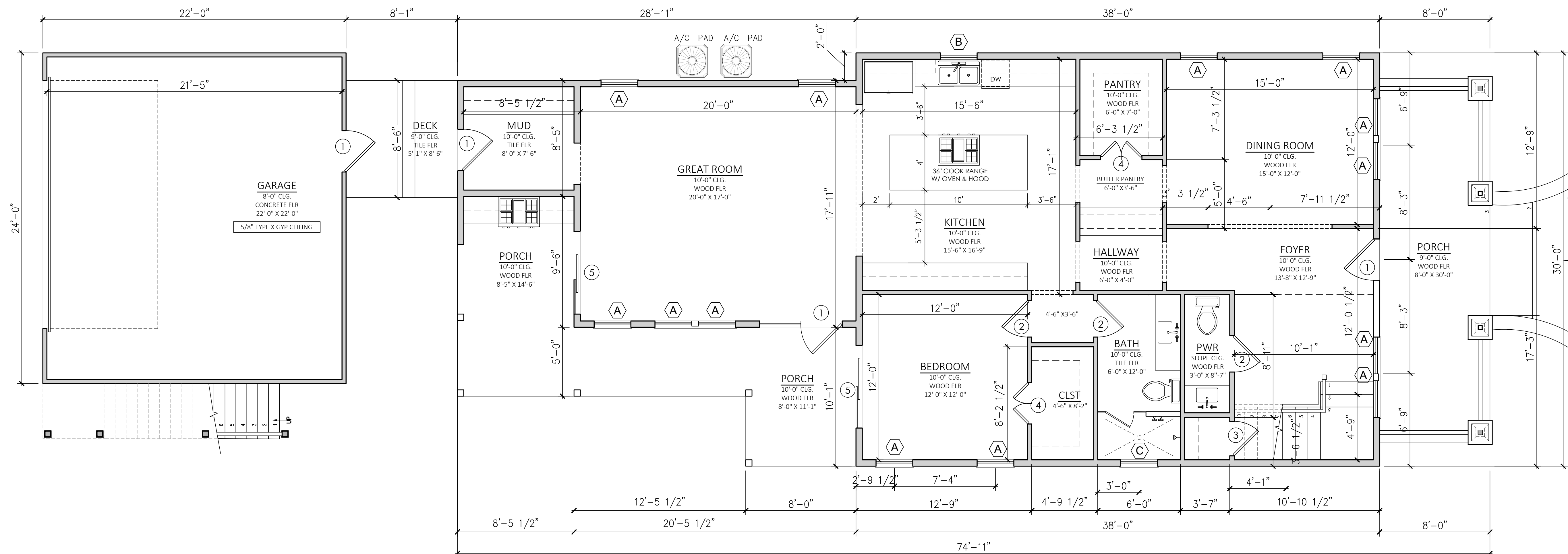
MEMBER:
A | BD
AMERICAN INSTITUTE OF
BUILDING DESIGN

N-C-B-D-C
NATIONAL COUNCIL OF
BUILDING DESIGNERS
FOUNDED 1916

THIS DRAWING, AND RELATED DOCUMENTS, REMAIN THE PROPERTY OF CROLE DESIGN & ARE NOT TO BE REPRODUCED OR COPIED, IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT FROM CROLE DESIGN.

[illegible]

RESIDENCE NAME 1207 TULANE STREET HOUSTON, TEXAS 77008	
SHEET TITLE	PROPOSED FLOOR PLAN
SHEET NO.	A1.1



PROPOSED
FLOOR PLAN -LEVEL 1
Scale: 1/4"= 1'-0"

WINDOW SCHEDULE - HOUSE					
MARK	QTY	WIDTH	HEIGHT	DESCRIPTION	
(A)	32	2'-8"	5'-8"	SINGLE HUNG	NEW
(B)	1	2'-8"	3'-0"	SINGLE HUNG	
(C)	2	2'-6"	1'-6"	FIX	
(D)	1	2'-8"	4'-0"	SINGLE HUNG	
(E)	2	2'-8"	5'-8"	SINGLE HUNG/TEMPERED	

WINDOW SCHEDULE - GARAGE					
MARK	QTY	WIDTH	HEIGHT	DESCRIPTION	
(A1)	2	2'-8"	5'-6"	SINGLE HUNG	NEW
(B1)	1	2'-0"	3'-0"	SLIDING	
(C1)	1	2'-0"	5'-6"	SINGLE HUNG	

X PROPOSED DOOR SCHEDULE				
Item	Count	SIZE	TYPE	DESCRIPTION
1	5	3'-0" x 6'-8"	EXTERIOR	
2	9	2'-8" x 6'-8"	INTERIOR	
3	5	2'-6" x 6'-8"	INTERIOR	
4	5	2'-3-0" x 6'-8"	INTERIOR	DOUBLE
5	2	3'-0" x 6'-8"	EXTERIOR	SLIDING

PROPOSED CALCULATION OF IMPERVIOUS PERCENTAGE	
HOUSE / GARAGE	2,105 SQ. FT.
DRIVEWAY / SIDEWALK	230 SQ. FT.
TOTAL OF IMPERVIOUS COVER	2,335 SQ. FT.
LOT AREA	7,260 SQ. FT.
PERCENTAGE OF IMPERVIOUS AREA	32.1 %

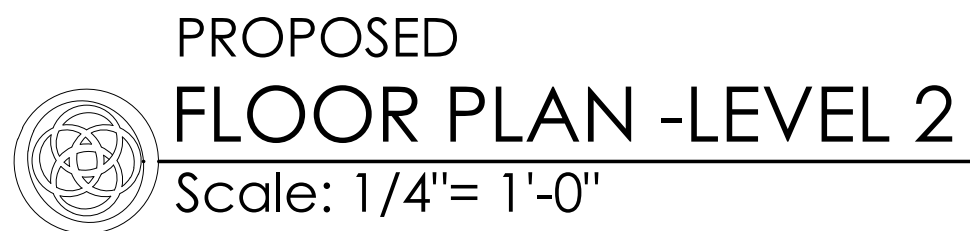
AREA STATEMENT	
	PROPOSED
FIRST FLOOR:	1,577 SF
SECOND FLOOR:	1,461 SF
GARAGE APARTMENT:	528 SF
TOTAL HEATED:	3,566 SF
FRONT PORCH:	206 SF
REAR DECK:	272 SF
GARAGE:	528 SF
TOTAL UNHEATED:	1,006 SF
TOTAL COVERED:	4,572 SF

WALL LEGEND

- EXISTING WALLS
- NEW WALLS

NOT FOR PERMIT

NOT FOR PERMIT



(X)		PROPOSED DOOR SCHEDULE		
Item	Count	SIZE	TYPE	DESCRIPTION
1	5	3'-0" x 6'-8"	EXTERIOR	
2	9	2'-8" x 6'-8"	INTERIOR	
3	5	2'-6" x 6'-8"	INTERIOR	
4	5	2'-3'-0" x 6'-8"	INTERIOR	DOUBLE
5	2	3'-0" x 6'-8"	EXTERIOR	SLIDING

LEGAL DESCRIPTION
LOT 15, THE SOUTH 10.0' FEET OF 14 AND THE NORTH 11.67' FEET OF LOT 16 BLOCK: 187 HOUSTON HEIGHTS HOUSTON, TEXAS

PROPOSED CALCULATION OF IMPERVIOUS PERCENTAGE	
HOUSE / GARAGE	2,105 SQ. FT.
DRIVEWAY / SIDEWALK	230 SQ. FT.
TOTAL OF IMPERVIOUS COVER	2,335 SQ. FT.
LOT AREA	7,260 SQ. FT.
PERCENTAGE OF IMPERVIOUS AREA	32.1 %

AREA STATEMENT	
	PROPOSED
FIRST FLOOR:	1,577 SF
SECOND FLOOR:	1,461 SF
GARAGE APARTMENT:	528 SF
TOTAL HEATED:	3,566 SF
FRONT PORCH:	206 SF
REAR DECK:	272 SF
GARAGE:	528 SF
TOTAL UNHEATED:	1,006 SF
TOTAL COVERED:	4,572 SF

WALL LEGEND

EXISTING WALLS

NEW WALLS

NOT FOR PERMIT



PROPOSED
NORTH ELEVATION
Scale: 1/4"= 1'-0"



PROPOSED
SOUTH ELEVATION
Scale: 1/4"= 1'-0"

NOT FOR PERMIT

CREOLE
DESIGN L.L.C
CREOLEDESIGN.COM

505 MERRILL
HOUSTON, TX
77008
(713)880-3158

MEMBER
AIBD
AMERICAN INSTITUTE OF
BUILDING DESIGN

THIS DRAWING, AND RELATED
DOCUMENTS, REMAIN THE PROPERTY
OF CREOLE DESIGN & ARE NOT
TO BE REPRODUCED OR COPIED, IN
WHOLE OR IN PART WITHOUT THE
EXPRESSED WRITTEN CONSENT FROM
CREOLE DESIGN.

MARK	DATE	DESCRIPTION
1		

RESIDENCE NAME
1207 TULANE STREET
HOUSTON, TEXAS 77008

SHEET TITLE
PROPOSED
ELEVATIONS

SHEET NO.
A2.2

CAD DWG FILE: TEXT
COPYRIGHT 2006
ALL RIGHTS RESERVED

DRAWN BY: WH

