

CERTIFICATE OF APPROPRIATENESS

Application Date: March 3, 2025

Applicant: Shawn G. Conte, owner; Sam Gianukos, agent

Property: 1816 Cortlandt St. is a 7,260 SF Lot. With 1,872 SF House. Per HCAD: lot 17 & S 5 ft of lot 18 blk 106, Houston Heights

Significance: Contributing 2-story house, constructed circa 1920, located in the Houston Heights East historic district.

Proposal: Alteration: Addition

- 1,168 SF addition located to the rear of the existing structure and left rear of the lot.
- Addition leaves existing original rear corners intact and will be inset 2' for 6' on the left side and inset for 2' continuously on the right side.
- New Wood Windows to be inset and recessed per diagram attached.

Public Comment: No public comment received.

Civic Association: No comment received.

Recommendation: Approval

HAHC Action: -

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

S	D	NA		S - satisfies	D - does not satisfy	NA - not applicable
☒	☐	☐	(1)	The proposed activity must retain and preserve the historical character of the property;		
☒	☐	☐	(2)	The proposed activity must contribute to the continued availability of the property for a contemporary use;		
☒	☐	☐	(3)	The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance;		
☒	☐	☐	(4)	The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment;		
☒	☐	☐	(5)	The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site;		
☒	☐	☐	(6)	New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale;		
☐	☐	☒	(7)	The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures;		
☒	☐	☐	(8)	Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site;		
☒	☐	☐	(9)	The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements;		
☒	☐	☐	(10)	The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and		
☒	☐	☐	(11)	The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area.		

HEIGHTS DESIGN GUIDELINES

☒	☐	☐	In accordance with Sec. 33-276, the proposed activity must comply with the City Council approved Design Guidelines.
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HEIGHTS DESIGN GUIDELINES MEASURABLE STANDARDS

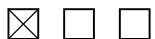
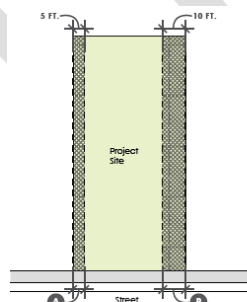
Maximum Lot Coverage (Addition and New Construction)

LOT SIZE	MAXIMUM LOT COVERAGE
<4000	.44 (44%)
4000-4999	.44 (44%)
5000-5999	.42 (42%)
6000-6999	.40 (40%)
7000-7999	.38 (38%)
8000+	.38 (38%)

Existing Lot Size: 7,260 SF

Proposed Lot Coverage: 2,630

Proposed Percentage: Allowed 2,759 SF Meets

Side Setbacks (Addition and New Construction)

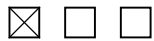
Note: This diagram shows just one example of a side setback configuration.

KEY	MEASUREMENT	APPLICATION
A	3 FT.	Minimum distance between side wall and the property line for lots less than 35 feet wide
B	5 FT.	Minimum distance between the side wall and the property line
	REMAINING	Difference between minimum side setback of 5 feet and minimum cumulative side setback
	6 FT.	Minimum cumulative side setback for lots less than 35 feet wide
C	10 FT.	Minimum cumulative side setback for a one-story house
	15 FT.	Minimum cumulative side setback for a two-story house

Proposed side setback Right Side: 5'

Proposed side setback Left Side: 12' 6 ¼" Meets

Cumulative side setback: 17'



Maximum Floor Area Ratio (Addition and New Construction)

LOT SIZE	MAXIMUM FAR
<4000	.48
4000-4999	.48
5000-5999	.46
6000-6999	.44
7000-7999	.42
8000+	.40

Existing Lot Size: 7,260 SF

Proposed Sq Ft: 2,903 sq ft

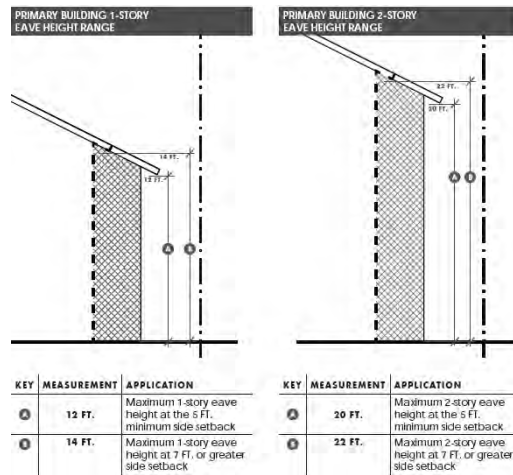
FAR allowed = 3,049 SF Meets at 3,040 SF



Side Wall Length and Insets (Addition and New Construction)

MEASUREMENT	APPLICATION
50 FT.	Maximum side wall length without inset (1-story)
40 FT.	Maximum side wall length without inset (2-story)
1 FT.	Minimum depth of inset section of side wall (1-story)
2 FT.	Minimum depth of inset section of side wall (2-story)
6 FT.	Minimum length of inset section of side wall

Maximum sidewall length proposed in addition is 22' Meets

Eave Height (Addition and New Construction)

Proposed eave height: 19' 3" Meets

Building Wall (Plate) Height (Addition and New Construction)

MEASUREMENT	APPLICATION
36 IN.	Maximum finished floor height (as measured at the front of the structure)
10 FT.	Maximum first floor plate height
9 FT.	Maximum second floor plate height

Proposed finished floor: Matching existing.

Proposed 2nd Level Plate: 8' Meets

PROPERTY LOCATION

HEIGHTS EAST HISTORIC DISTRICT



Houston Heights East Historic District

Historic District Boundary

Building Classification

- Contributing
- Non-Contributing
- Park

Established: February 20, 2008
Source: GIS Services Division
Date: May 1, 2013
Reference: p17025_Heights_East

This map is made available for reference purposes only and should not be substituted for a survey product. The City of Houston will not accept liability of any kind in conjunction with its use.



PLANNING &
DEVELOPMENT
DEPARTMENT

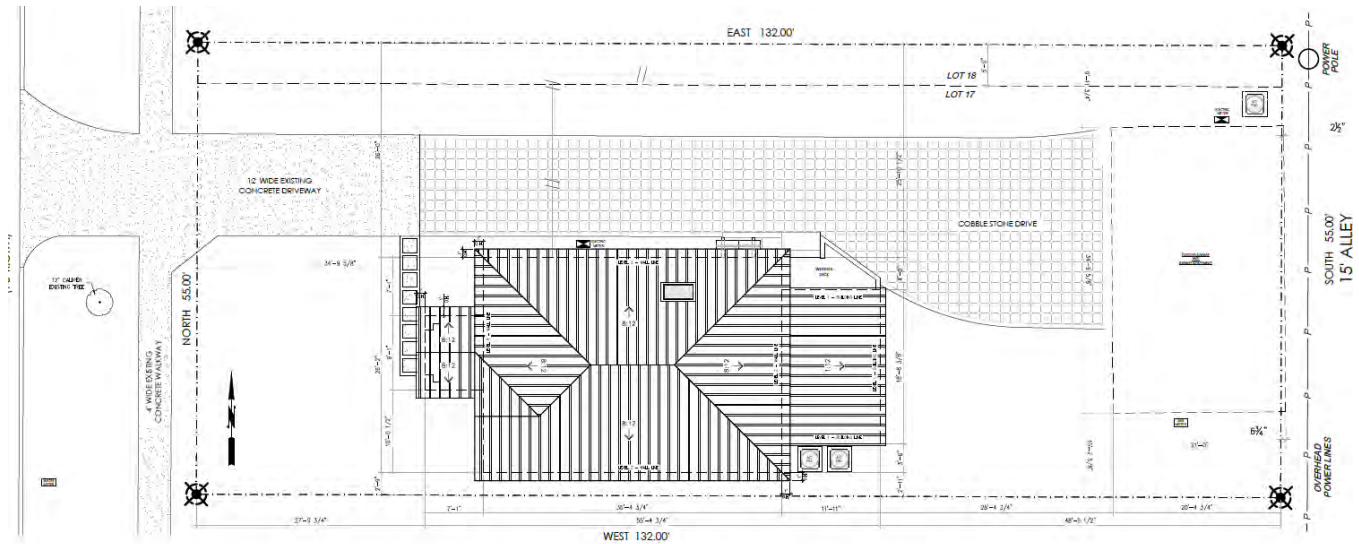
INVENTORY PHOTO



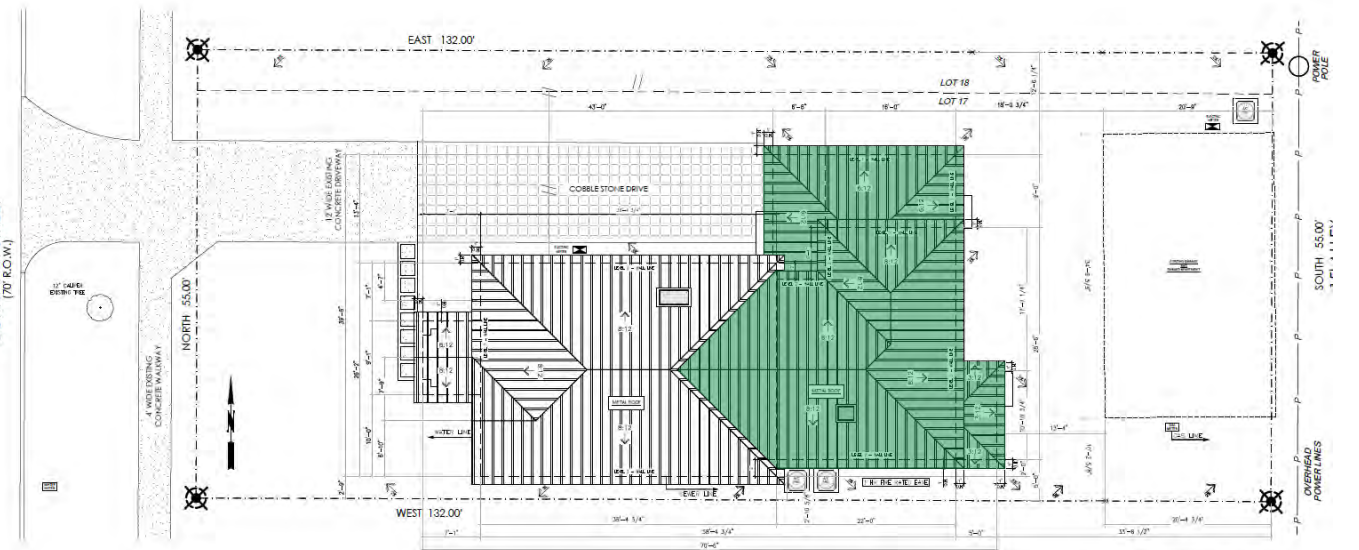
Figure 1- County Records 1967 Image







EXISTING
SITE PLAN



PROPOSED
SITE PLAN



EXISTING HOUSE
WEST ELEVATION

Scale: 1/4" = 1'-0"



PROPOSED HOUSE
WEST ELEVATION

Scale: 1/4" = 1'-0"



EXISTING HOUSE
NORTH ELEVATION
Scale: 1/4"= 1'-0"



PROPOSED HOUSE
NORTH ELEVATION



EXISTING HOUSE
SOUTH ELEVATION
Scale: 1/4"= 1'-0"



PROPOSED HOUSE
SOUTH ELEVATION
Scale: 1/4"= 1'-0"



Please see drawings attached for additional information

HAHC SET

02/27/2025



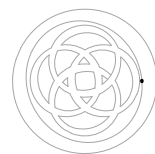
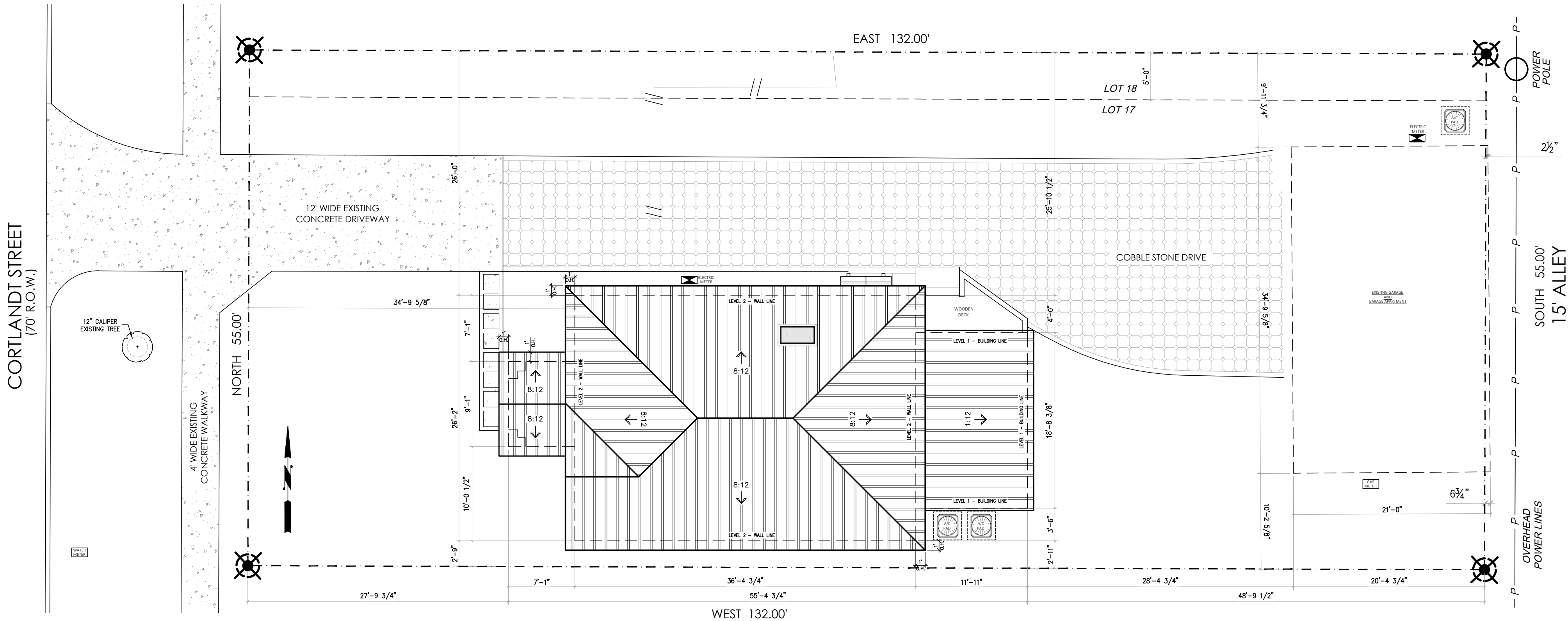
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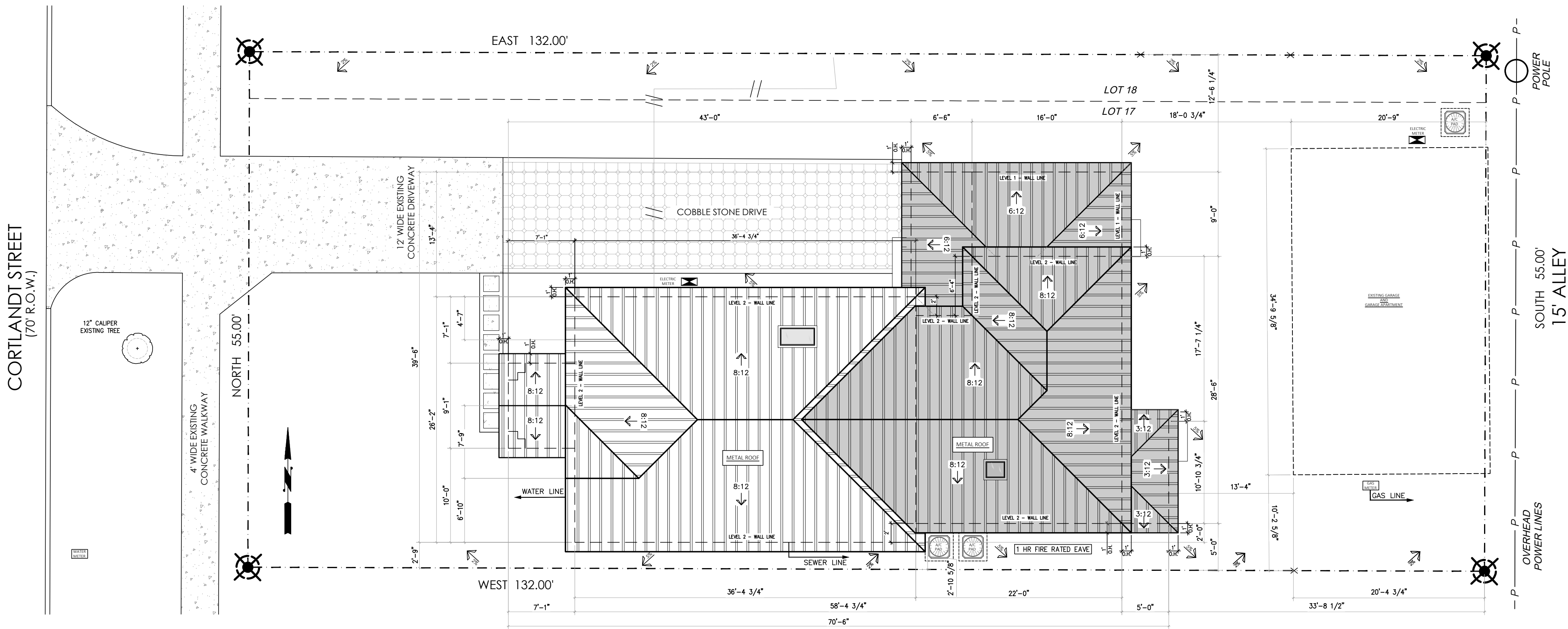




EXISTING
SITE PLAN
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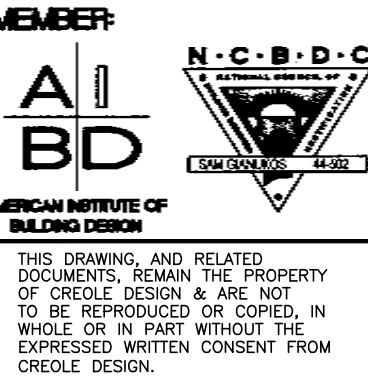
LEGAL DESCRIPTION
LOT 17 AND 5 FEET OF LOT 18
BLOCK: 106
HOUSTON HEIGHTS
HOUSTON, TEXAS

EXISTING CALCULATION OF IMPERVIOUS PERCENTAGE	
HOUSE / PORCH / STORAGE	2,154 SQ. FT.
DRIVEWAY / WALKWAY / PAVEMENT	1,672 SQ. FT.
TOTAL OF IMPERVIOUS COVER	3,826 SQ. FT.
LOT AREA	7,260 SQ. FT.
PERCENTAGE OF IMPERVIOUS AREA	52.7 %



PROPOSED CALCULATION OF IMPERVIOUS PERCENTAGE	
HOUSE / GARAGE	2,630 SQ. FT.
DRIVEWAY / WALKWAY / PAVEMENT	882 SQ. FT.
TOTAL OF IMPERVIOUS COVER	3,512 SQ. FT.
LOT AREA	7,260 SQ. FT.
PERCENTAGE OF IMPERVIOUS AREA	48.37 %

HAHC

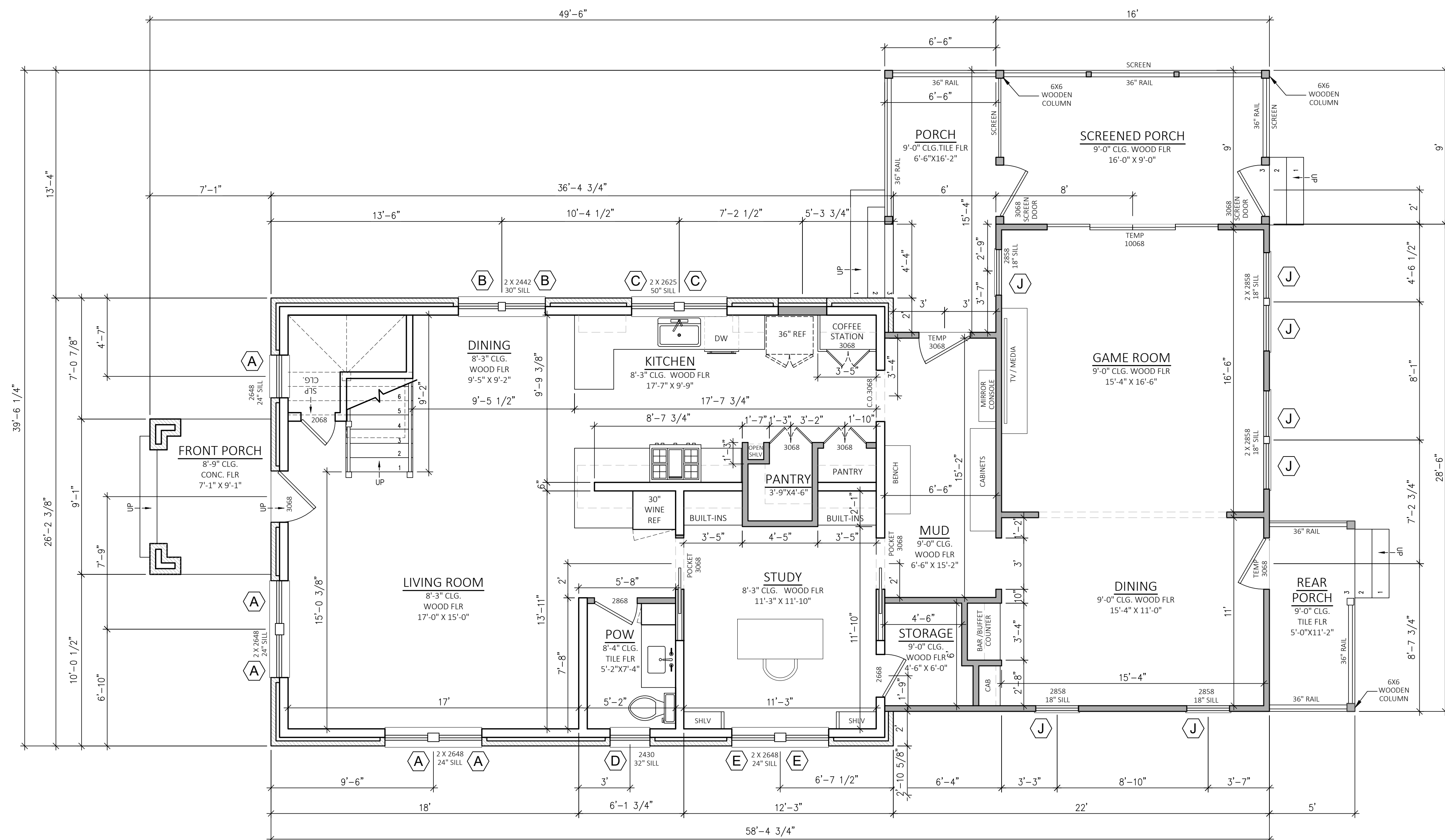


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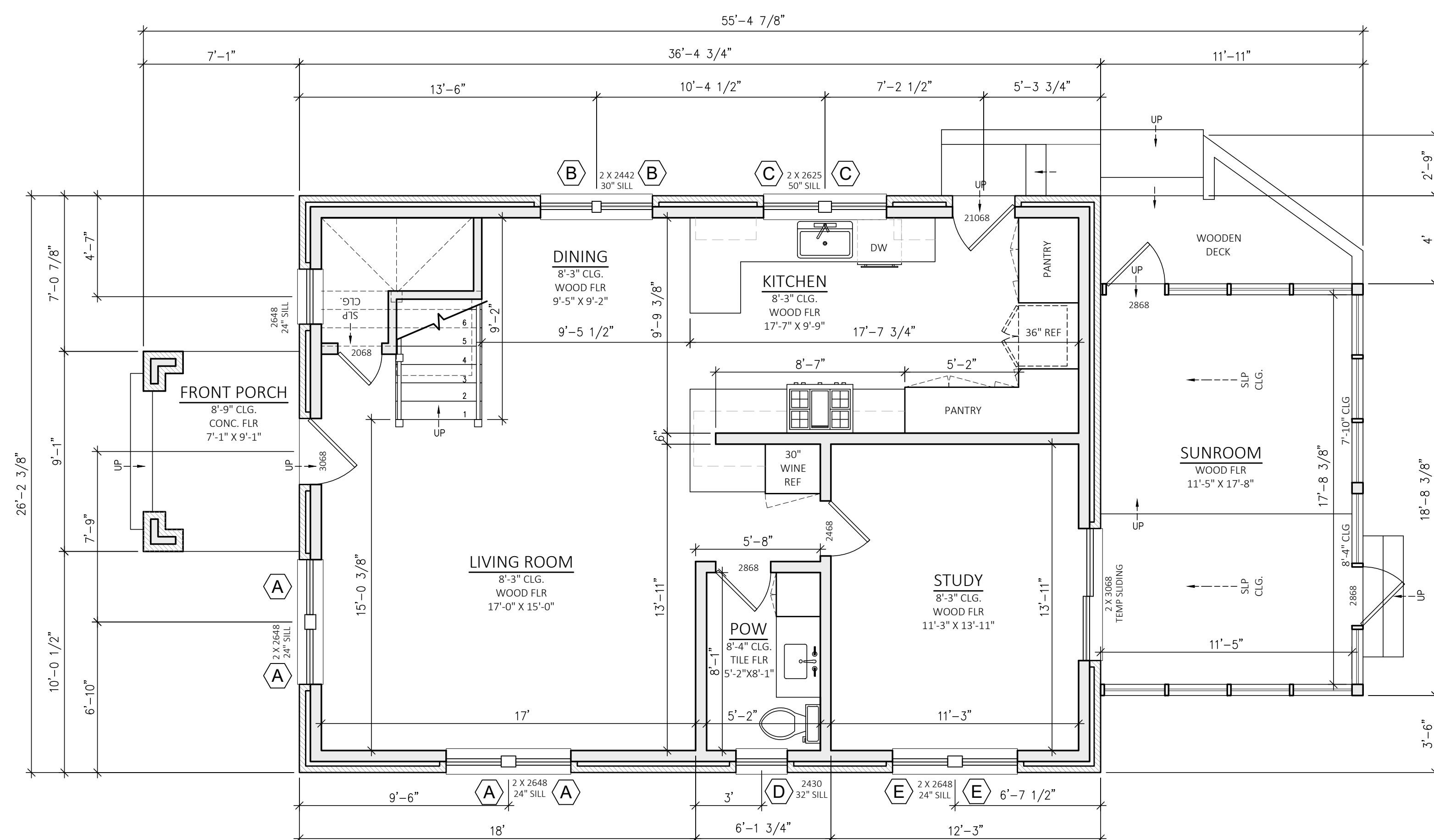
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SHEET TITLE
SITE
PLANS
SHEET NO.
H0.1
HAHC



PROPOSED
FLOOR PLAN -LEVEL 1
Scale: 1/4"= 1'-0"



EXISTING
FLOOR PLAN -LEVEL 1
Scale: 1/4"= 1'-0"

WALL LEGEND

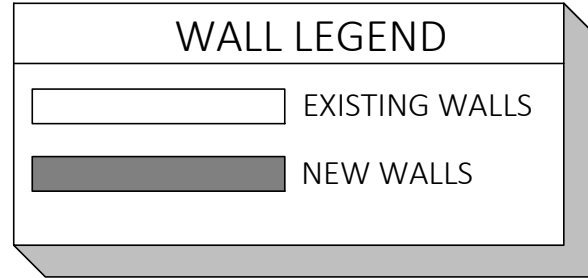
EXISTING WALLS

NEW WALLS

AREA STATEMENT			
	EXISTING	+/-	PROPOSED
FIRST FLOOR	954 SF	584 SF	1,538 SF
SECOND FLOOR	918 SF	584 SF	1,502 SF
TOTAL HEATED	1,872 SF	1,168 SF	3,040 SF
SIDE PORCH	- - -	97 SF	97 SF
REAR PORCH	- - -	55 SF	55 SF
FRONT PORCH	65 SF		65 SF
WOODEN DECK	84 SF	-40 SF	44 SF
SCREENED PORCH	223 SF	-79 SF	144 SF
TOTAL UNHEATED:	372 SF	33 SF	405 SF
TOTAL COVERED:	2,244 SF	1,201 SF	3445 SF

PROPOSED DESIGN F.A.R.- 3040 SQFT	
LOT AREA	7,260 SQ. FT.
HAHC - MAX F.A.R (0.42% X LOT SIZE)	3,049 SQ. FT.

WINDOW SCHEDULE				
MARK	QTY	WIDTH	HEIGHT	DESCRIPTION
(A)	12	2'-6"	4'-8"	SINGLE HUNG
(B)	2	2'-4"	4'-2"	CASEMENT
(C)	2	2'-6"	2'-5"	SINGLE HUNG
(D)	1	2'-4"	3'-0"	SINGLE HUNG
(E)	2	2'-6"	4'-8"	SINGLE HUNG
(F)	1	2'-10"	2'-5"	FIX
(G)	2	2'-6"	4'-8"	SINGLE HUNG
(H)	1	3'-2"	5'-6"	SINGLE HUNG
(J)	7	2'-8"	5'-8"	SINGLE HUNG
(K)	4	2'-8"	5'-8"	SINGLE HUNG TEMP
(L)	1	4'-0"	3'-0"	FIX TEMP
(M)	1	2'-8"	3'-0"	FIX TEMP
(N)	1	2'-4"	3'-0"	FIX
(P)	1	3'-6"	1'-8"	FIX SKYLIGHT
(R)	1	2'-0"	2'-0"	FIX SKYLIGHT

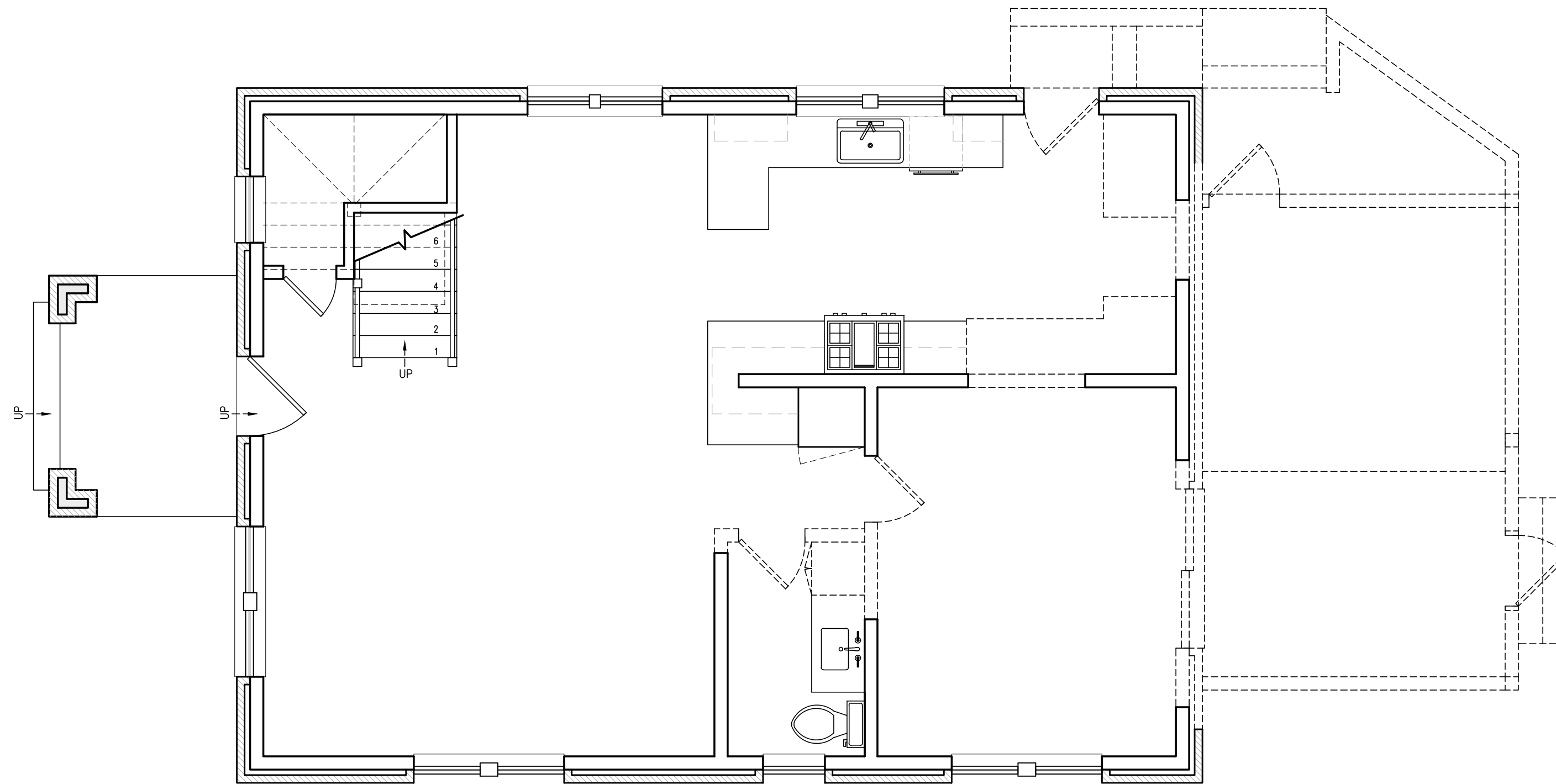


PROPOSED
FLOOR PLAN -LEVEL 2
Scale: 1/4"= 1'-0"

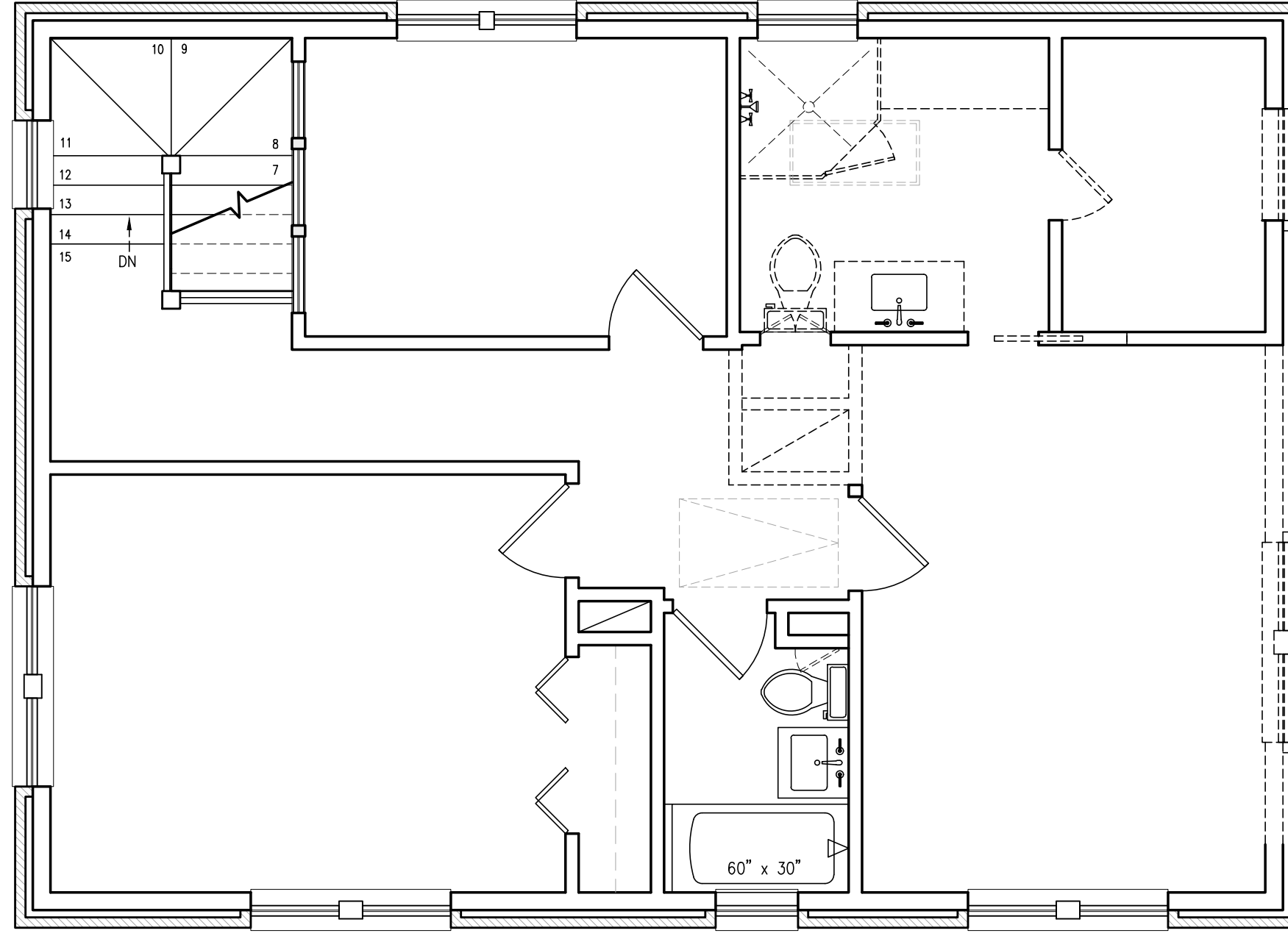
PROPOSED DESIGN F.A.R.- 3040 SQFT	
LOT AREA	7,260 SQ. FT.
HAHC - MAX F.A.R (0.42% X LOT SIZE)	3,049 SQ. FT.



WINDOW SCHEDULE					
MARK	QTY	WIDTH	HEIGHT	DESCRIPTION	
(A)	12	2'-6"	4'-8"	SINGLE HUNG	EXISTING
(B)	2	2'-4"	4'-2"	CASEMENT	
(C)	2	2'-6"	2'-5"	SINGLE HUNG	
(D)	1	2'-4"	3'-0"	SINGLE HUNG	
(E)	2	2'-6"	4'-8"	SINGLE HUNG	
(F)	1	2'-10"	2'-5"	FIX	
(G)	2	2'-6"	4'-8"	SINGLE HUNG	DEMO
(H)	1	3'-2"	5'-6"	SINGLE HUNG	
(J)	7	2'-8"	5'-8"	SINGLE HUNG	NEW
(K)	4	2'-8"	5'-8"	SINGLE HUNG TEMP	
(L)	1	4'-0"	3'-0"	FIX TEMP	
(M)	1	2'-8"	3'-0"	FIX TEMP	
(N)	1	2'-4"	3'-0"	FIX	
(P)	1	3'-6"	1'-8"	FIX SKYLIGHT	EXISTING
(R)	1	2'-0"	2'-0"	FIX SKYLIGHT	NEW




DEMO PLAN -LEVEL 1
 Scale: 1/4"= 1'-0"




DEMO PLAN -LEVEL 2
 Scale: 1/4"= 1'-0"

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SHEET TITLE

DEMO
FLOOR
PLAN

SHEET NO.

H1.3
HAHC

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SHEET TITLE

DEMO
FLOOR
PLAN

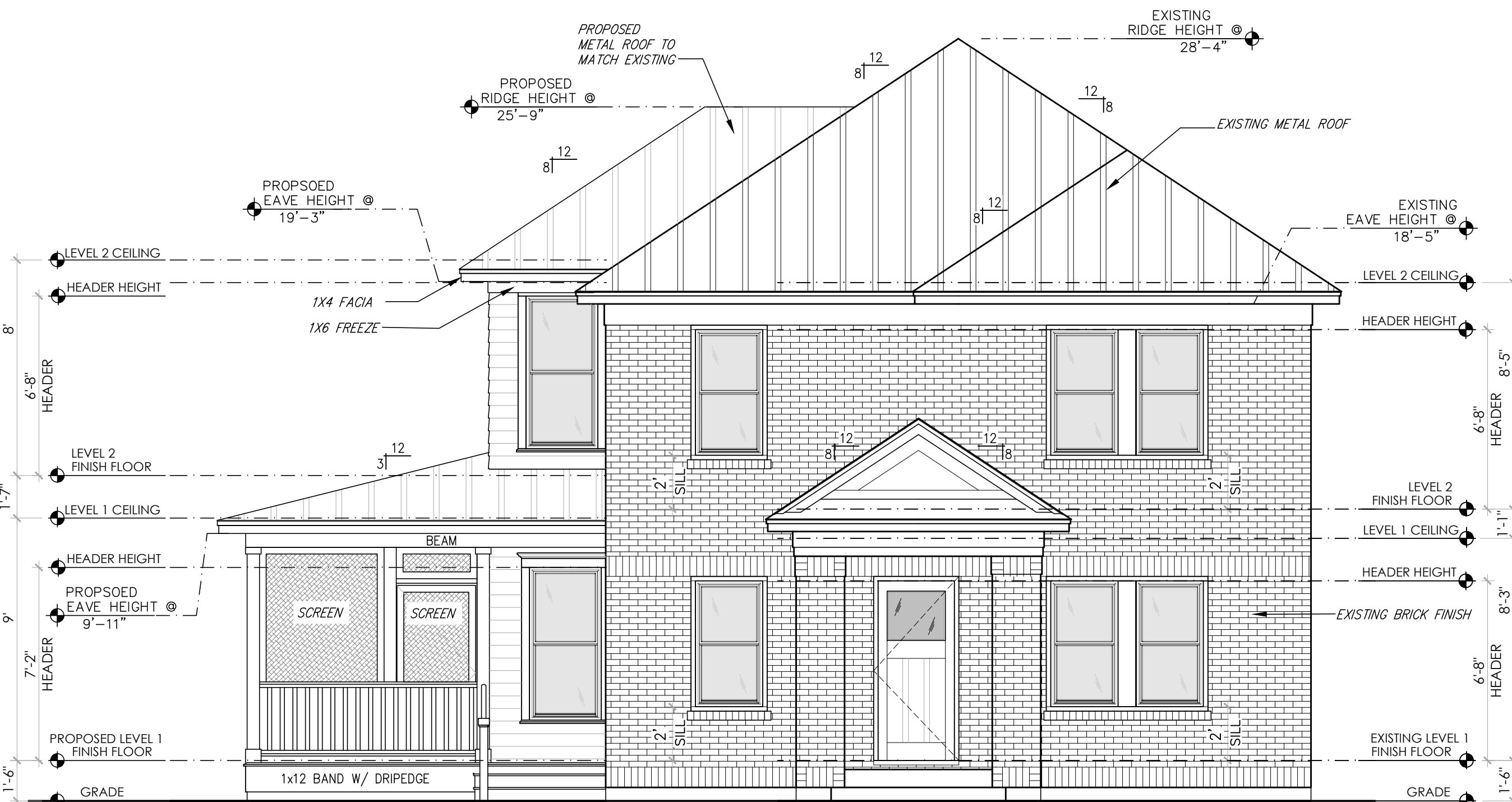
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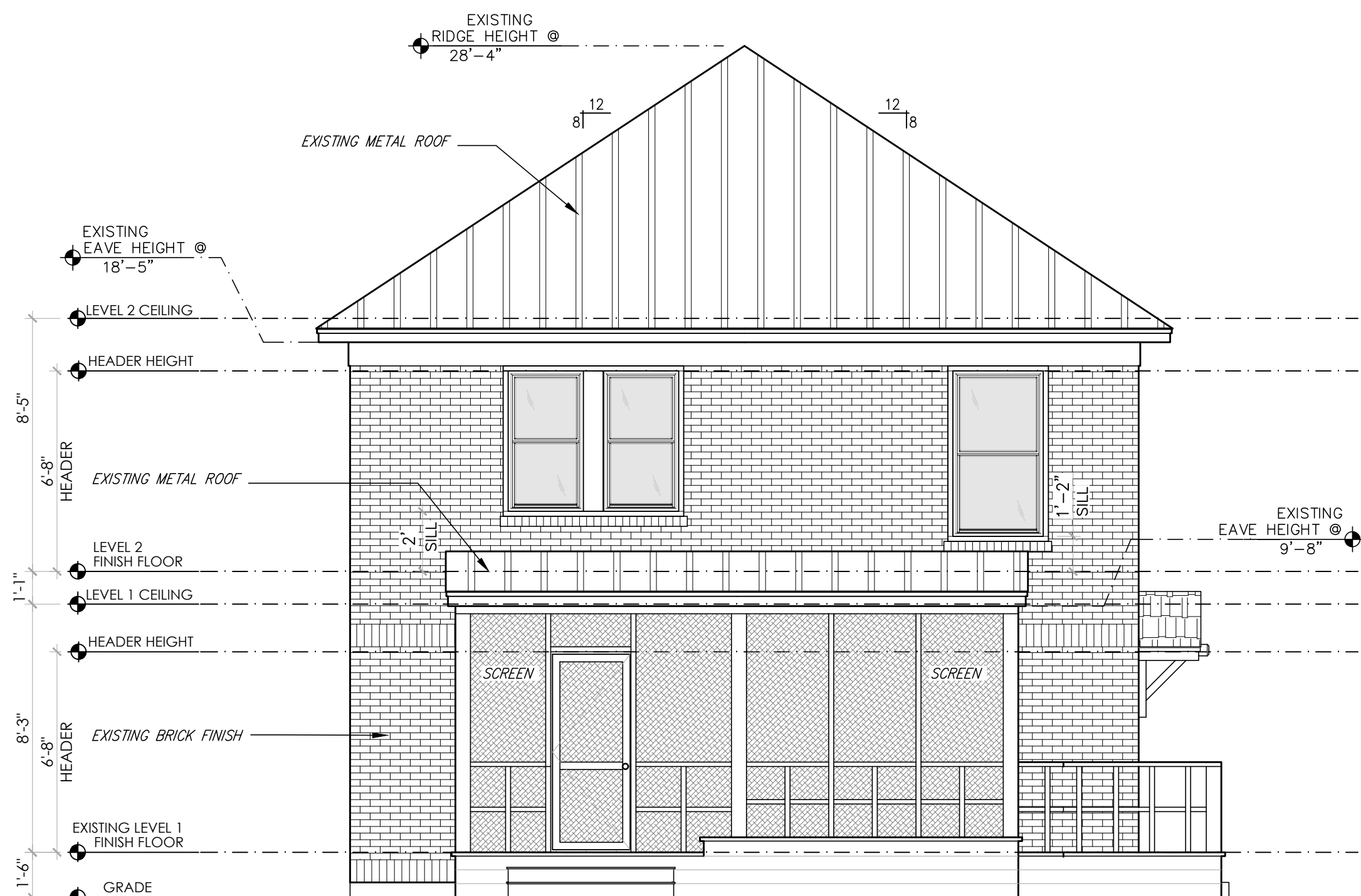
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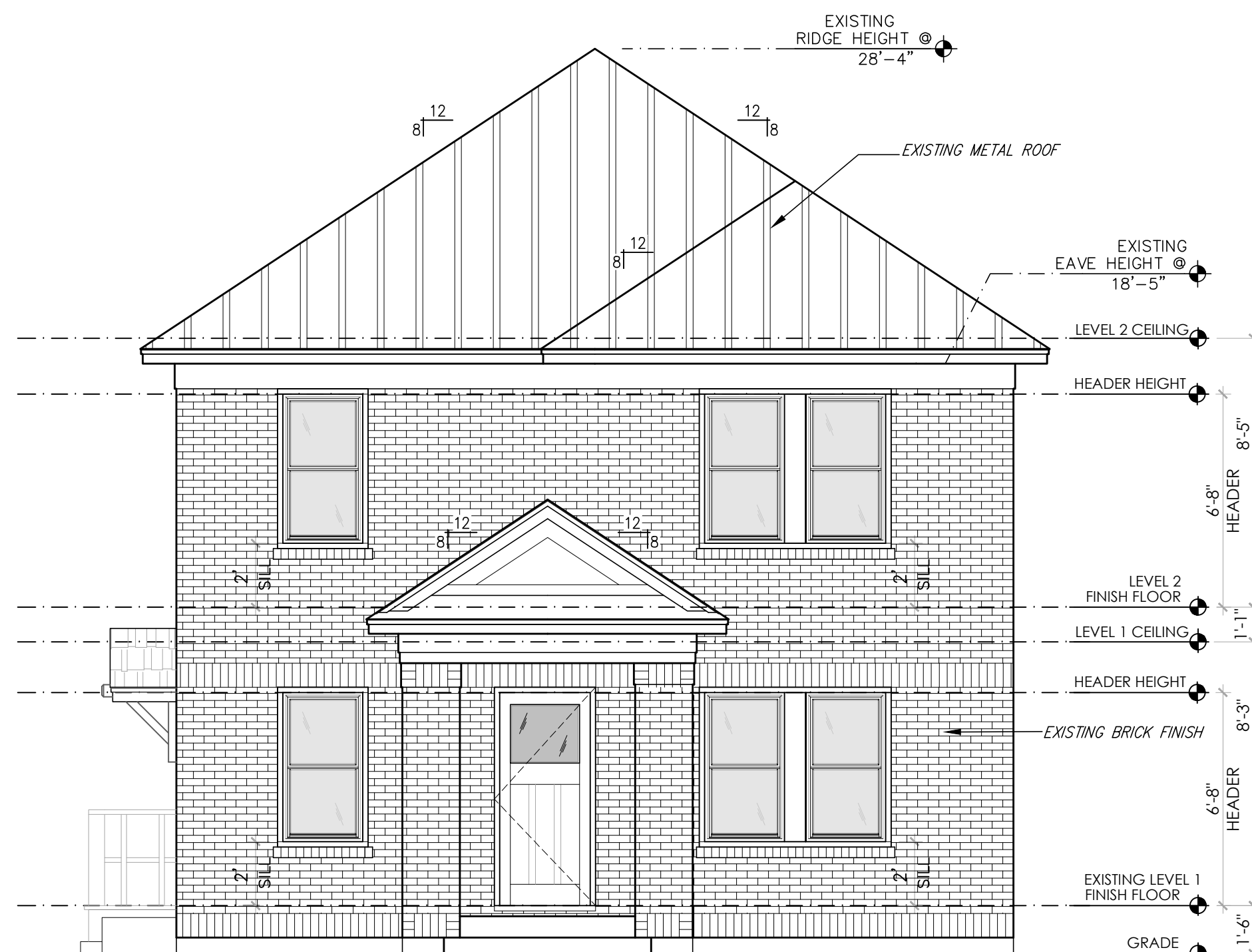
PROPSOED HOUSE
EAST ELEVATION
Scale: 1/4"= 1'-0"



PROPOSED HOUSE
WEST ELEVATION
Scale: 1/4"= 1'-0"

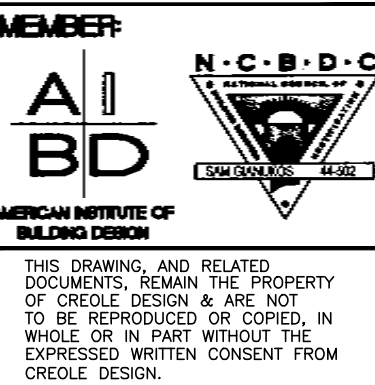


EXISTING HOUSE
EAST ELEVATION
Scale: 1/4"= 1'-0"



EXISTING HOUSE
WEST ELEVATION
Scale: 1/4"= 1'-0"

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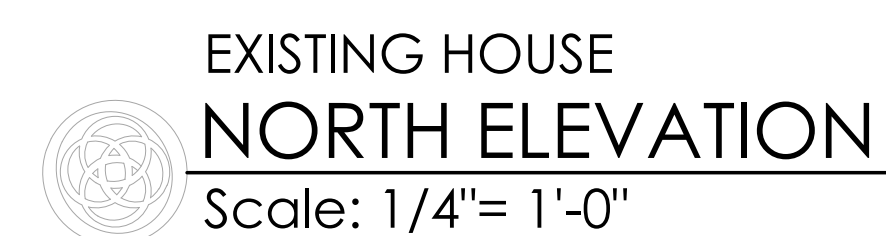
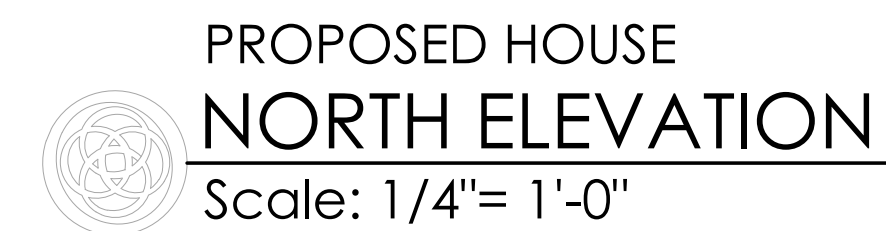
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SHEET TITLE
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SHEET TITLE

EXISTING
ELEVATIONS

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H2.2
HAHC

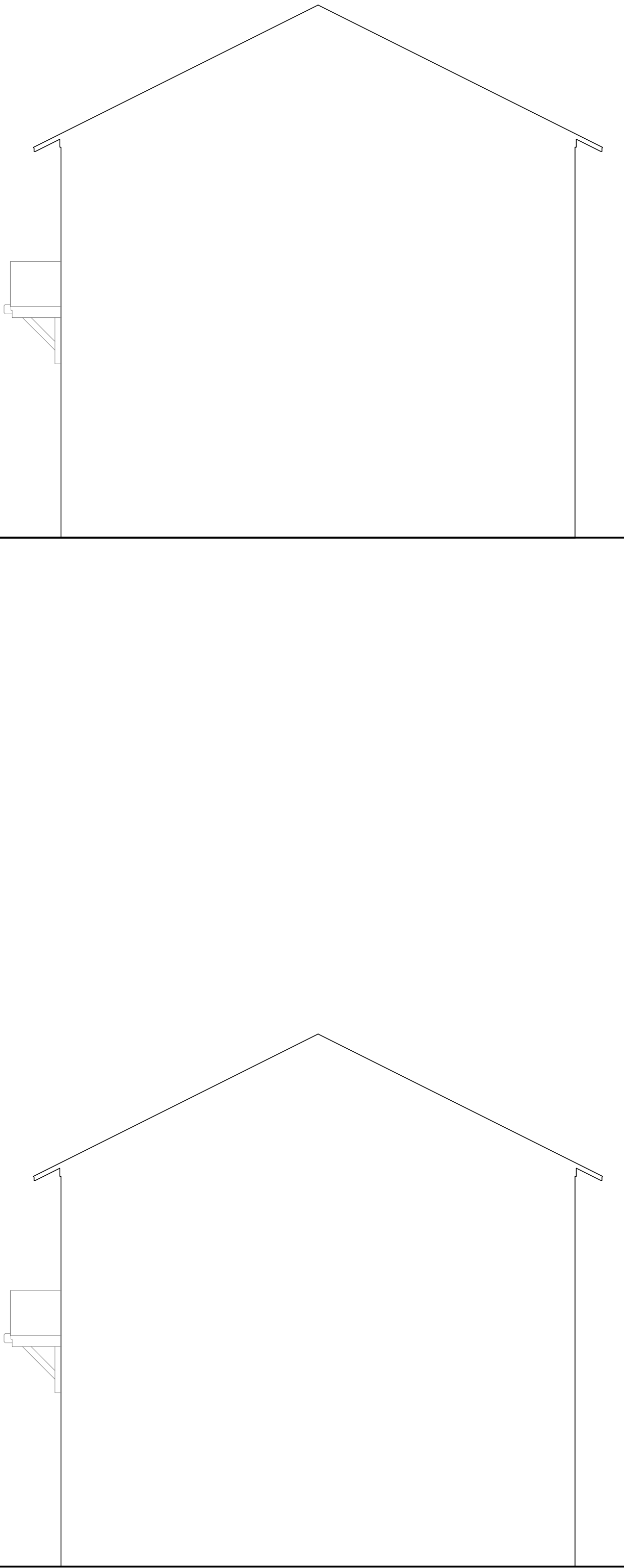
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PROPOSED HOUSE
SOUTH ELEVATION
Scale: 1/4"= 1'-0"



EXISTING HOUSE
SOUTH ELEVATION
Scale: 1/4"= 1'-0"



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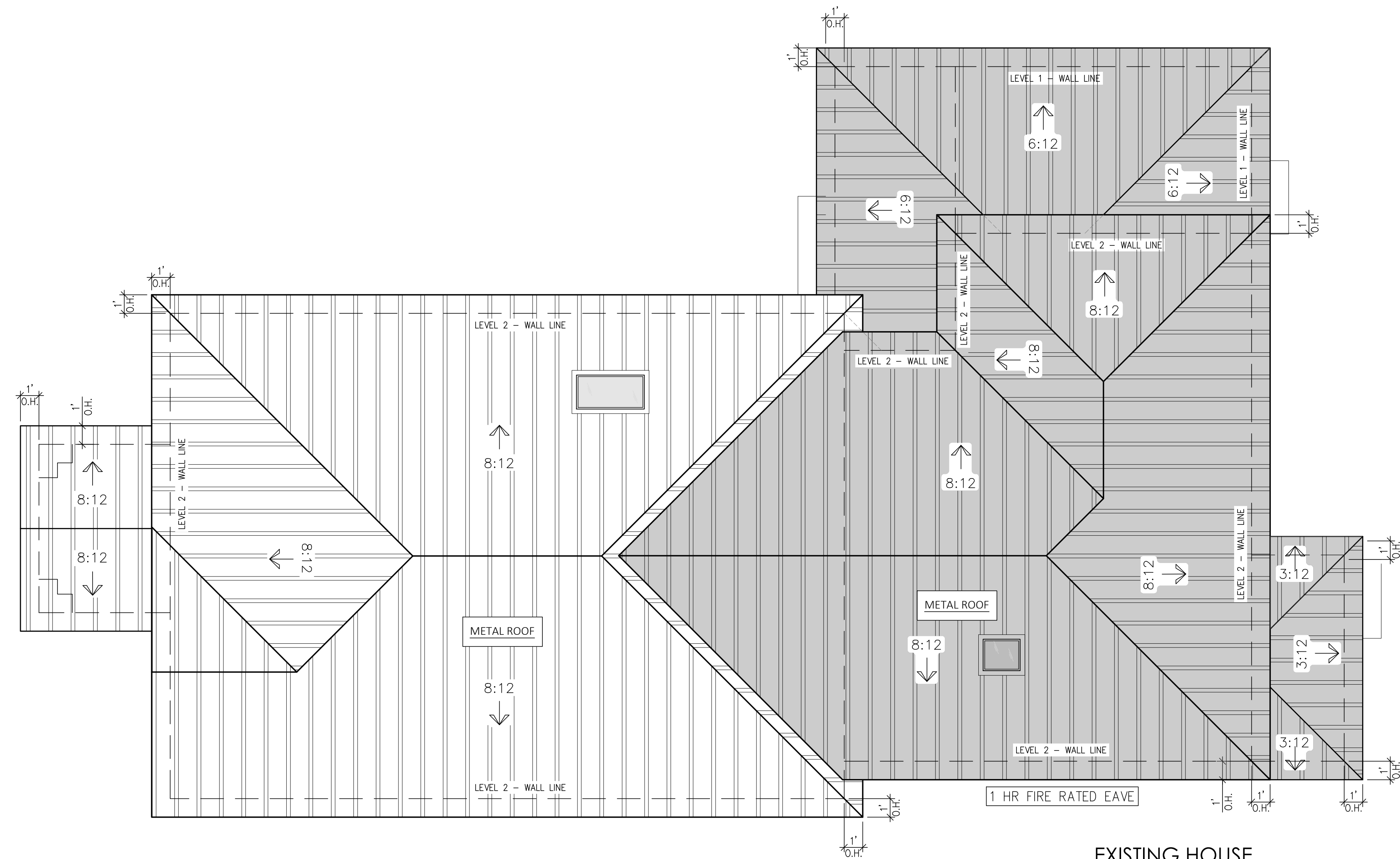
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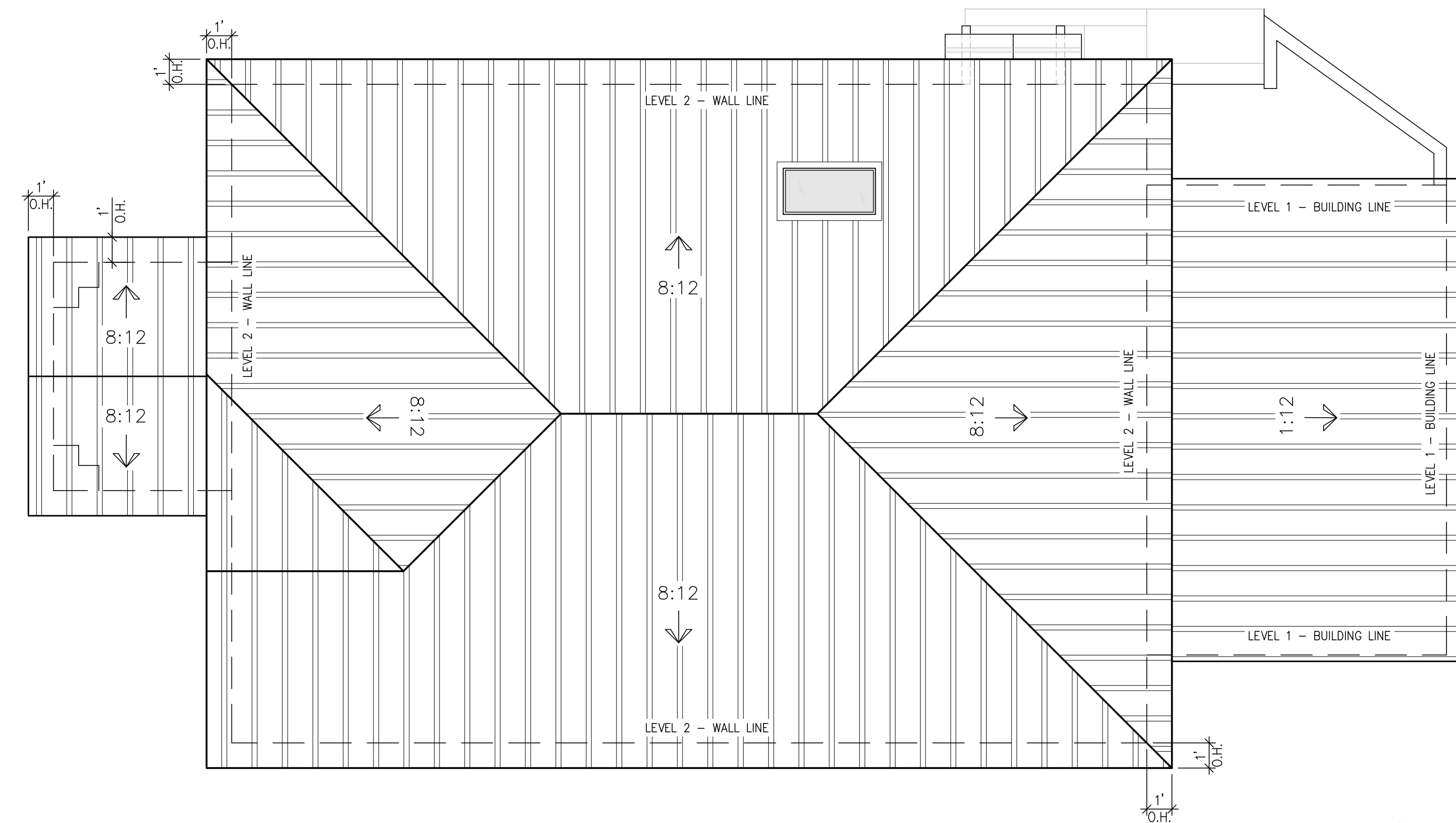
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HOUSTON, TEXAS 77008

SHEET TITLE
PROPOSED
ELEVATIONS

SHEET NO.
H2.3
HAHC



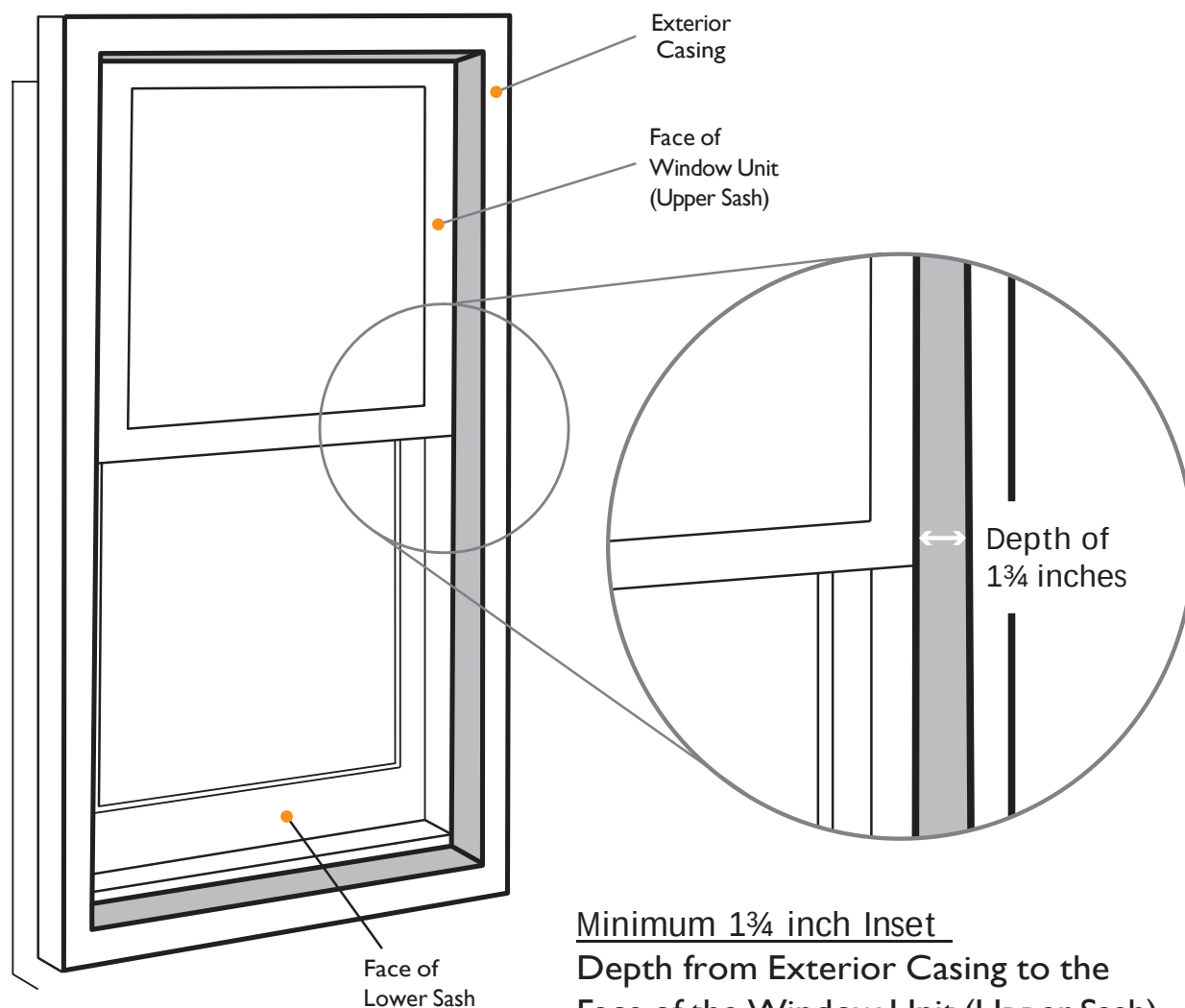
EXISTING HOUSE
ROOF PLAN
Scale: 1/4"= 1'-0"



EXISTING HOUSE
ROOF PLAN
Scale: 1/4" = 1'-0"



Historic Window Standard: New Construction & Replacement



Minimum 1 $\frac{3}{4}$ inch Inset
Depth from Exterior Casing to the
Face of the Window Unit (Upper Sash)

Windows must be I-over-I
(equally horizontally divided)

1 $\frac{3}{4}$ inch minimum inset for Fixed Window

For more information contact:
Houston Office of Preservation
832-393-6556
historicpreservation@houstontx.gov