

CERTIFICATE OF APPROPRIATENESS

Applicant: Jessie Enander, agent for, Bennie Davis, owner

Property: 11 Montglen Ct, Lot 13, Block 70, Glenbrook Valley Sec 12 R/P Neighborhood Subdivision. The property includes a historic 3,572 square foot, one-story brick veneer single-family residence and an attached garage converted into conditioned space situated on a 11,689 square foot asymmetrical interior lot.

Significance: Contributing Modern Ranch style residence, constructed circa 1963, located in the Glenbrook Valley Historic District. No previous COAs. Plumbing permit in Aug. 2012 for updating water heater system. Front elevation windows replaced with vinyl between 2015 & 2018.

Proposal: New Construction: Single-Family Residential with Attached Garage

- Total conditioned space, 2,161 sq. ft
 - 4 bedrooms and 2 bathrooms
 - FFE 33.8'
 - 3' above DFE as site address located in 500-year floodplain
 - Sims Bayou located to the north of site address
- Attached garage, 400 sq. ft.
- Clad in a mix of brick and fiber cement siding
- Windows to be SH, aluminum, mill-finished windows with a 2-over-2 horizontal lite pattern with a thermal break, double-pane glass (argon filled), inset and recessed
 - 3'x5' window openings
- 6:12 roof pitch with composition shingles

Public Comment: No public comment received.

Civic Association: No comment received.

Recommendation: Approval with conditions: Add second window on front elevation in laundry room of same dimension as window on bedroom #2 and symmetrically placed. Lower garage roof ridge height and garage plate height to be of typical heights of contributing structures in the context area. Differentiate cladding below FFE with either different masonry or different brick bond pattern.

HAHC Action: -

APPROVAL CRITERIA

NEW CONSTRUCTION IN A HISTORIC DISTRICT

Sec. 33-242(a): HAHC shall issue a certificate of appropriateness for new construction in a historic district upon finding that the application satisfies the following criteria:

S **D** **NA**

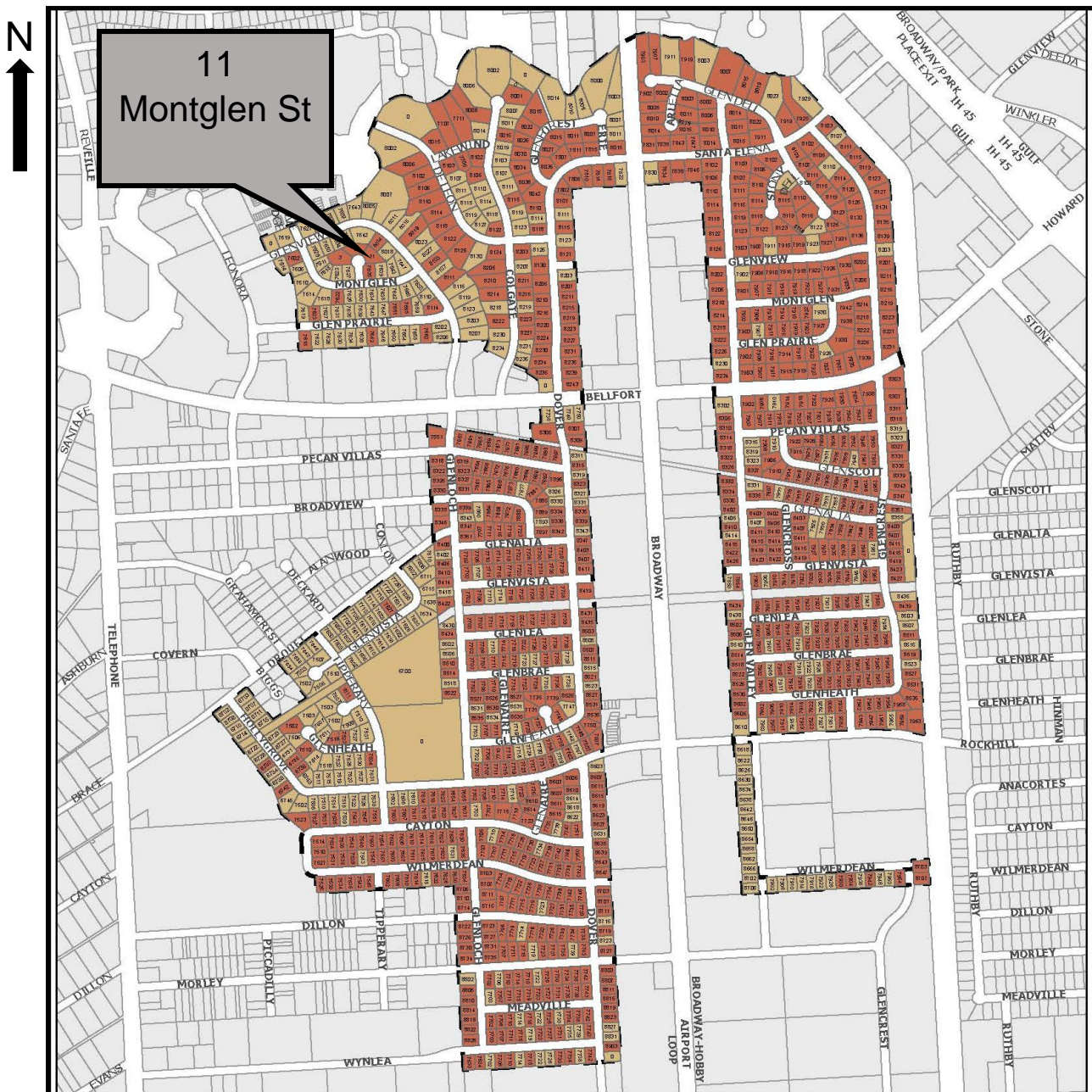
S - satisfies **D - does not satisfy** **NA - not applicable**

- (1) The distance from the property line of the front and side walls, porches, and exterior features of any proposed new construction must be compatible with the distance from the property line of similar elements of existing contributing structures in the context area;
- (2) The exterior features of the new construction must be compatible with the exterior features of existing contributing structures in the context area;
- (3) The scale and proportions of the new construction, including the relationship of the width and roofline, overall height, eave height, foundation height, porch height, roof shape, and roof pitch, and other dimensions to each other, must be compatible with the typical scale and proportions of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical scale and proportions; **Special circumstance that lot exists in the 500-year flood plain and therefore the heights of main structure will be higher than existing contributing structures in the context area in order to meet FEMA and COH Building Code.**
- (4) The height of the new construction must not be taller than the typical height of existing contributing structures in the context area unless special circumstances, such as an atypical use, location, or lot size, warrant an atypical height, except that; **Special circumstance that lot exists in the 500-year flood plain and therefore the heights of the main structure will be higher than existing contributing structures in the context area in order to meet FEMA and COH Building Code.**

Sims Bayou located north of site address which is in the 500-year floodplain



District Map



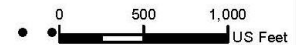
Glenbrook Valley Historic District

Historic District Boundary



Building Classification

- Contributing
- Non-Contributing



This map is made available for reference purposes only and should not be substituted for a survey product. The City of Houston will not accept liability of any kind in conjunction with its use.

Source: COGIS
Date: March 2024
Reference: pj26344

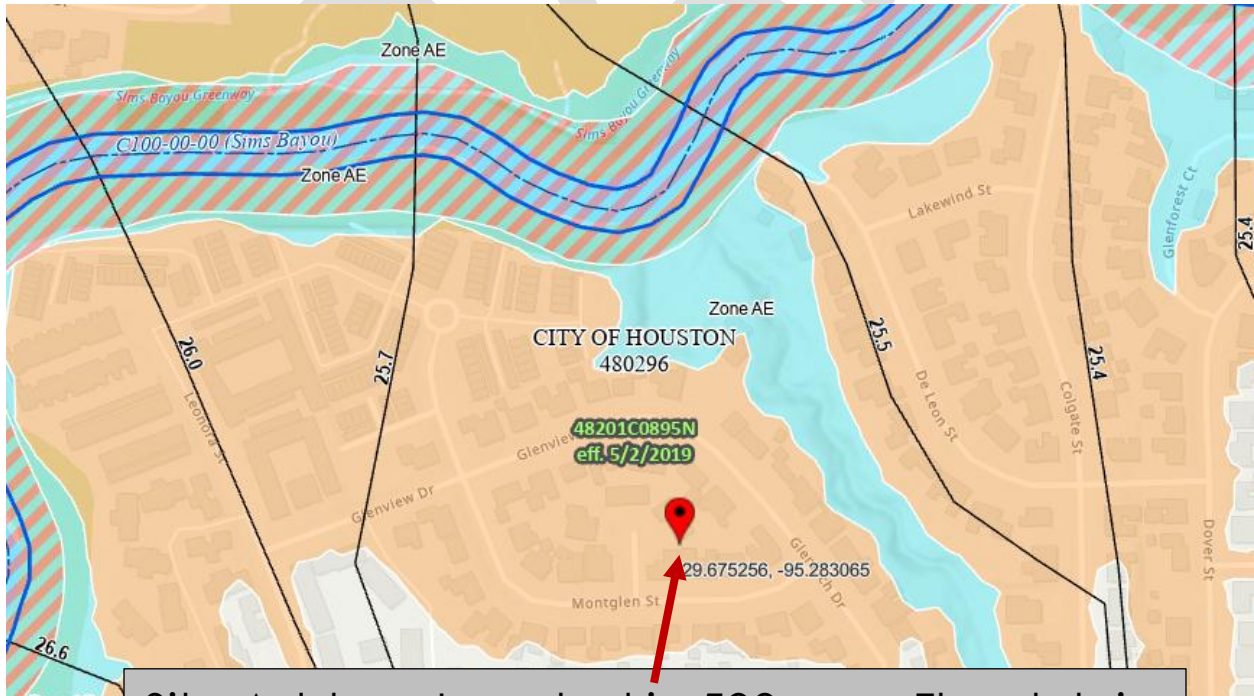


PLANNING & DEVELOPMENT DEPARTMENT

Inventory Photo



FEMA Flood Plain Map



Site Address Located in 500-year Floodplain
Image From FEMA Flood Map Service
<https://msc.fema.gov/portal/search>

Aluminum Mill-Finished Windows

Aluminum Mill-finished Window



1-over-1



2-over-2
Horizontal



Croft Series 90 35 In. W. x 59 In. H. Mill Finish Aluminum Single Hung Window

90W 3050 ML W/SCR SGLHNG

MODEL # F31820



5.0

1 Review

[Write a Review](#)



100%

of respondents would recommend this to a friend

by **Croft**

Item #165788

UPC: 00053075318204

\$129.99

In-store price may vary from online price. Not all products available at all stores.

Unavailable online



Free Ship-to-Store



Ship to Address

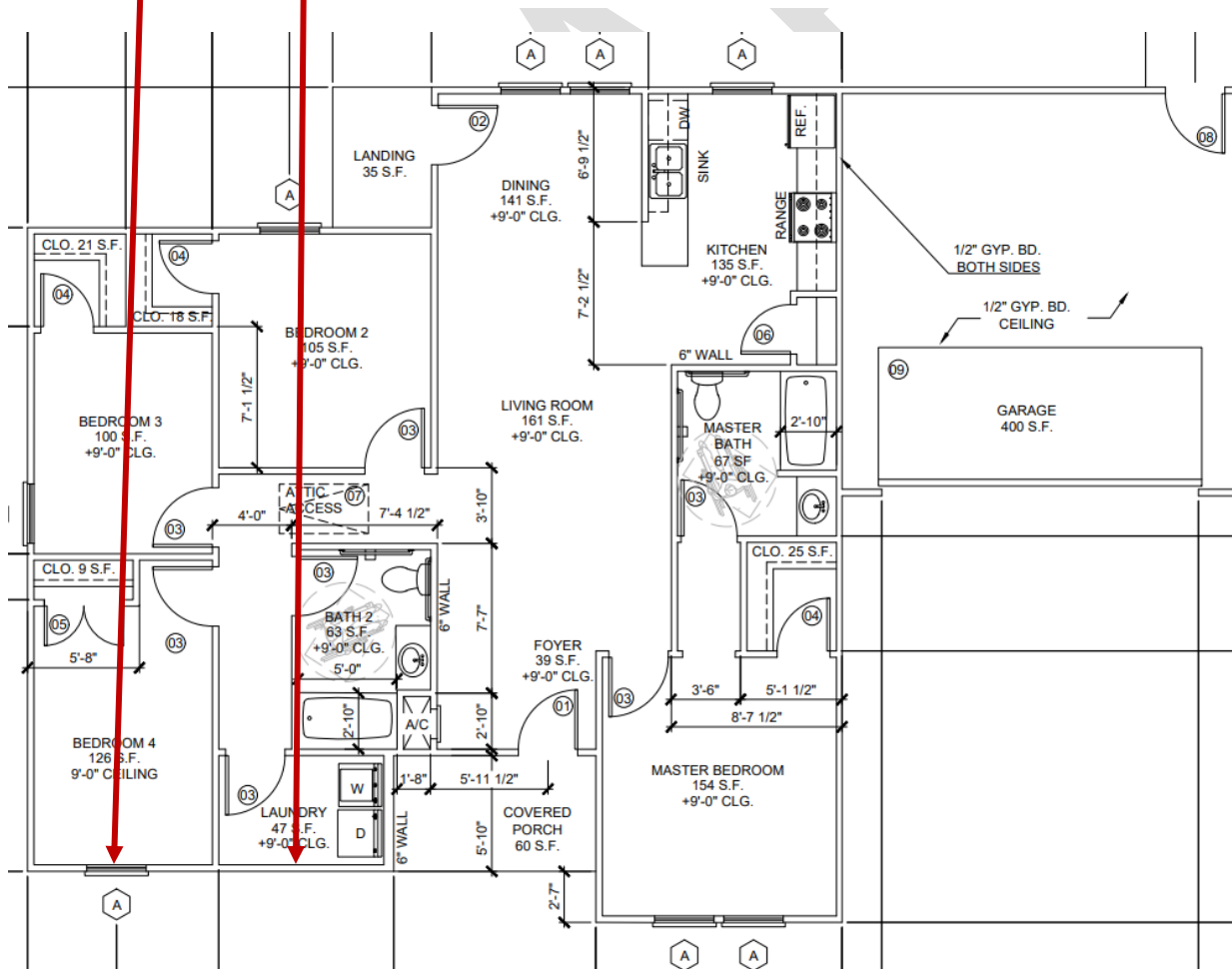
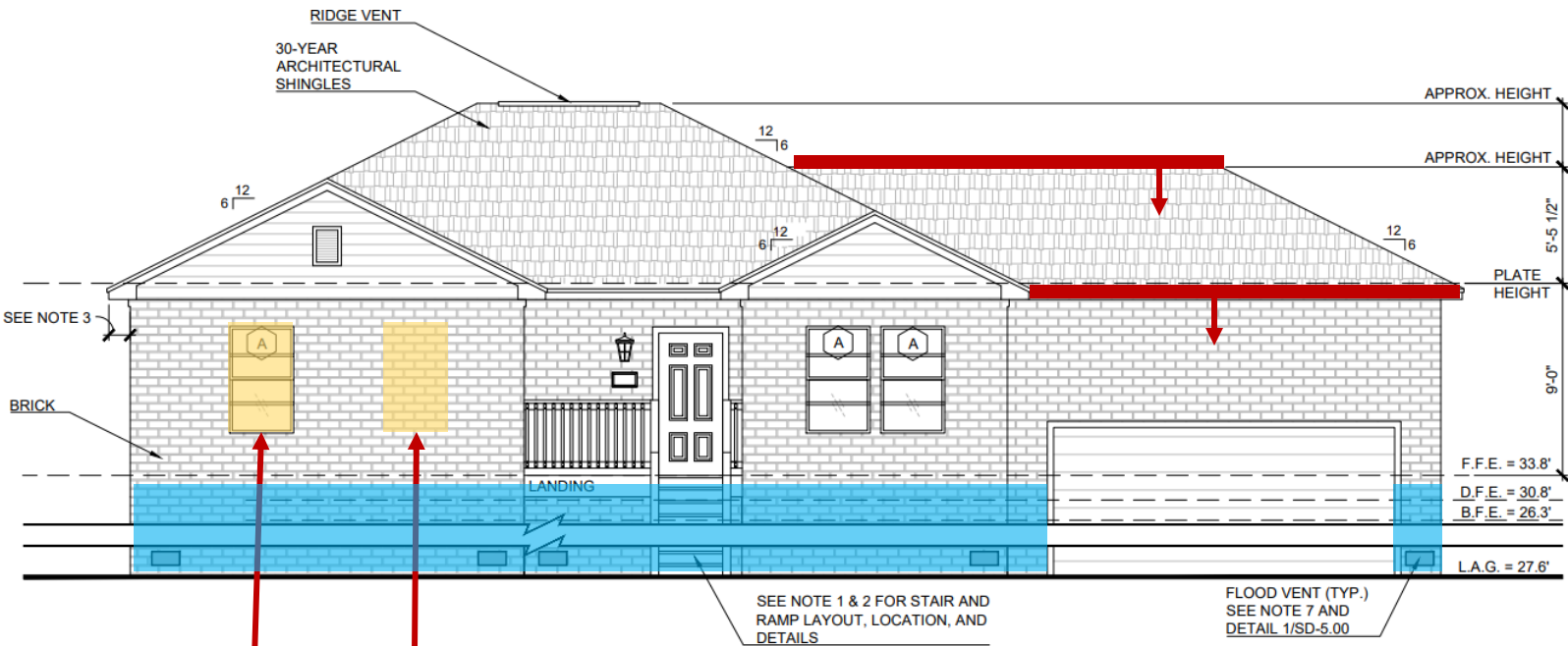


Not available online - check store for availability



Currently out-of-stock

Croft Series 90 35 In. W. x 59 In. H. Mill Finish Aluminum Single Hung Window



DUCKY JOHNSON

HOUSTON PROGRAM



ADDRESS:
11 Montglen Ct.,
Houston TX 77061



TBPE REG. # 17742 | TBPLS REG. #10194581

12005 DELANY ROAD • LA MARQUE, TEXAS • 409.354.5925

PROJECT INFORMATION

APPLICATION NUMBER :
STORIES :
PLAN NAME :
ELEVATION STYLE :
NO. OF BEDROOMS :
TUB/SHOWER STYLE :
(MASTER/GUEST)

ELEVATION ABOVE
ADJACENT GRADE :

EXISTING UTILITIES INFORMATION :

WATER :
SEWER :

GAS :

NAT. GAS LPG NO

GAS DRYER/RANGE/WATER HEATER/FURNACE: YES NO

ELECTRIC :

SEPTIC :

WATERWELL :

SPECIAL NEEDS :

TUB / SHOWER : YES NO

VINYL FLOORING : YES NO

DISH WASHER /
GARBAGE DISPOSAL : YES NO

VISUALLY / HEARING
IMPAIRED : YES NO

NOISE MIT : YES NO

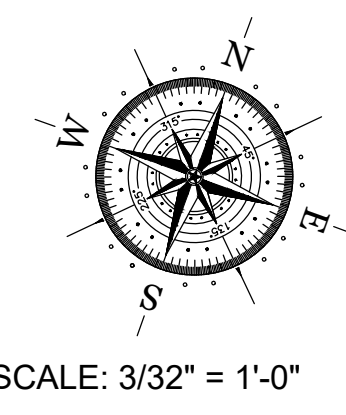
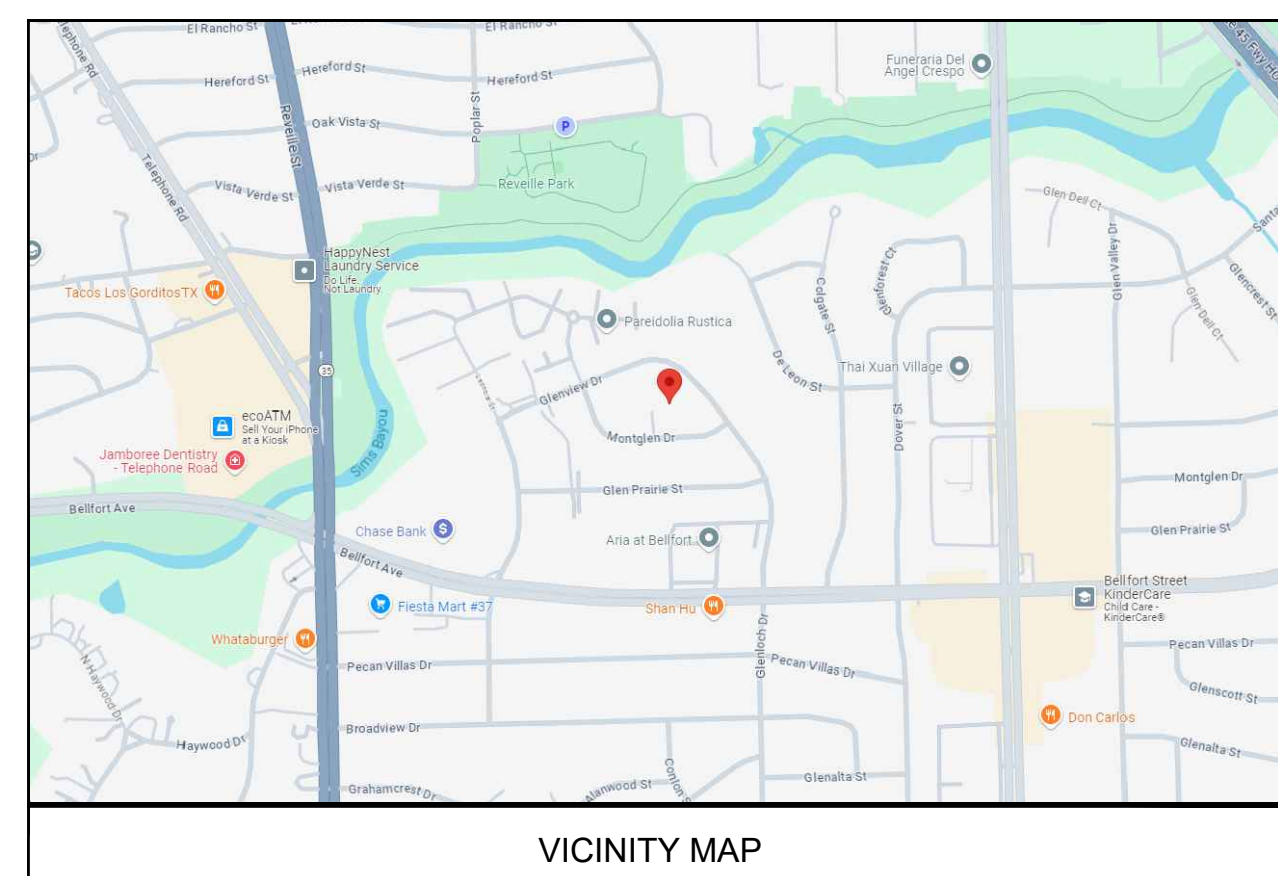
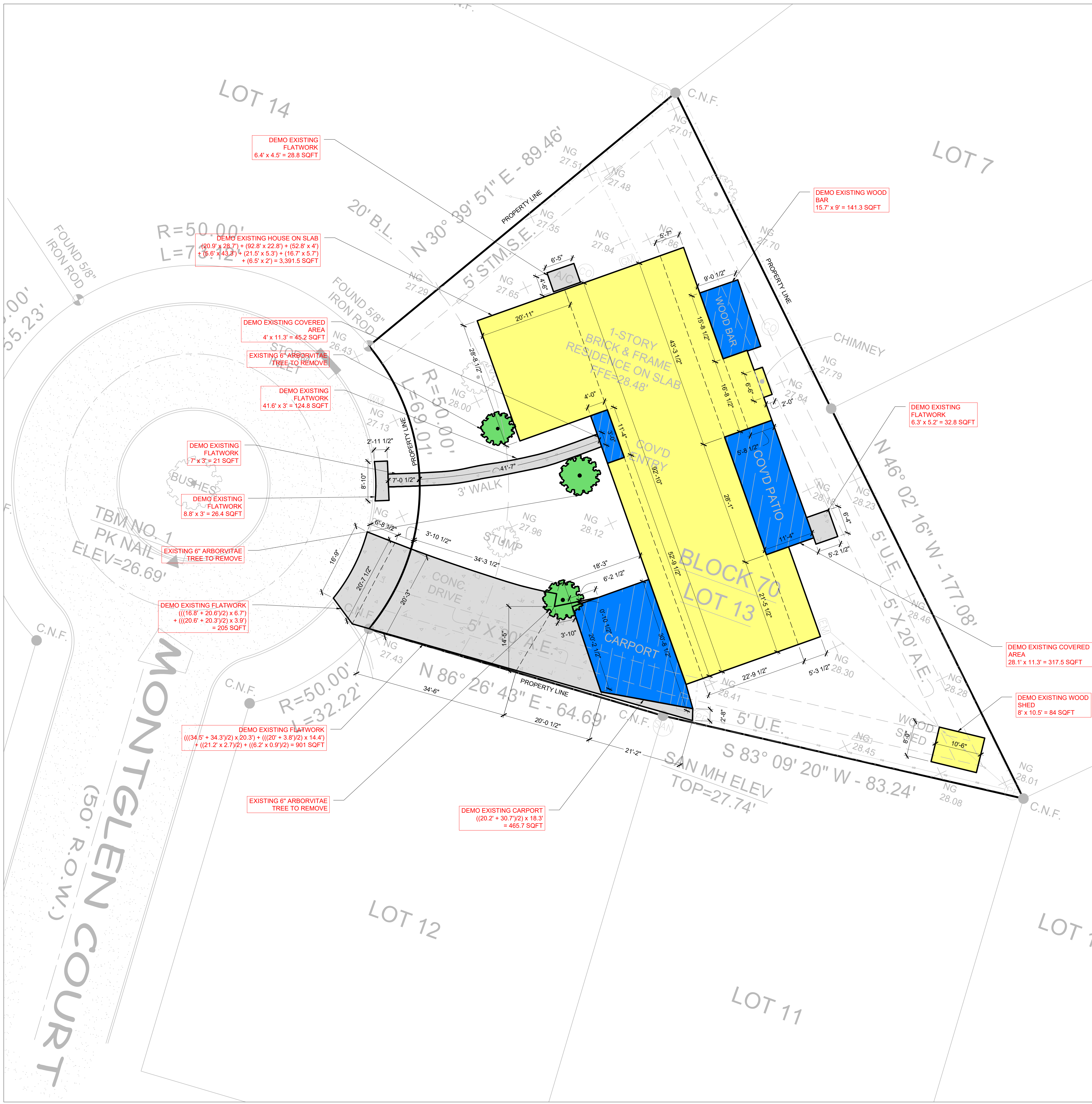
HISTORIC : YES NO

FLOODPLAIN : YES NO

WIND ZONE :

ADDITIONAL CRITERIA :

HOA:
2 Car Garage
2150 SQFT
80% Brick
Sound Attenuation Needed



LEGAL DESCRIPTION:
 LOT 13, BLOCK 70, OF REPLAT OF THE NORTH PART OF GLENBROOK VALLEY, SECTION TWELVE IN HOUSTON, HARRIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 92, PAGE 27, OF THE MAP RECORDS OF HARRIS COUNTY, TEXAS.

DEMO TABULATIONS	
EXISTING 1ST FLOOR	3,391.5 SQFT
DRIVEWAY	901 SQFT
WALKWAY	145.8 SQFT
APPROACH	205 SQFT
CONCRETE PAD	88 SQFT
WOOD SHED	84 SQFT
CARPORT	465.7 SQFT
COVERED AREA	362.7 SQFT
WOOD BAR	141.3 SQFT
TOTAL COVERED	5,785 SQFT
TREES	3

LEGEND

- BUILDING
- CONCRETE
- COVERED AREA
- TREE
- BRICK
- WOOD
- ASPHALT
- ITEM TO DEMO
- ITEM TO REMAIN

Revisions:

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0	02/04/2025	ISSUED FOR APPROVAL

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APPROVED
 APPROVED AS NOTED
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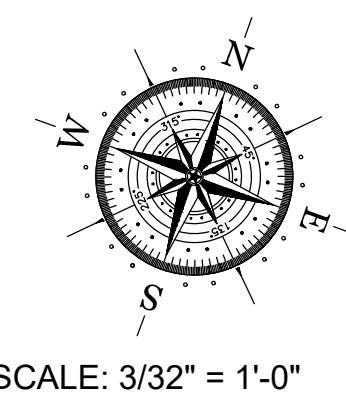
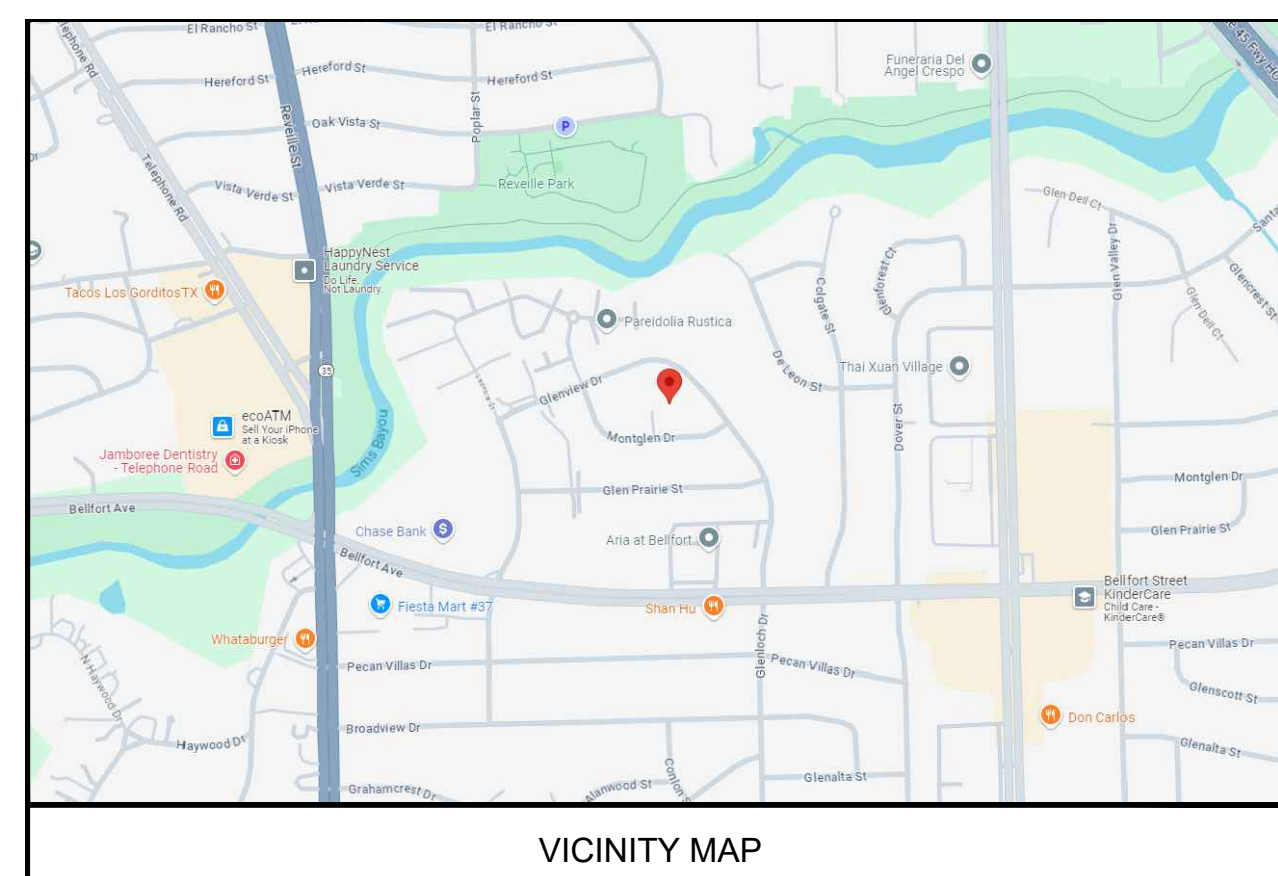
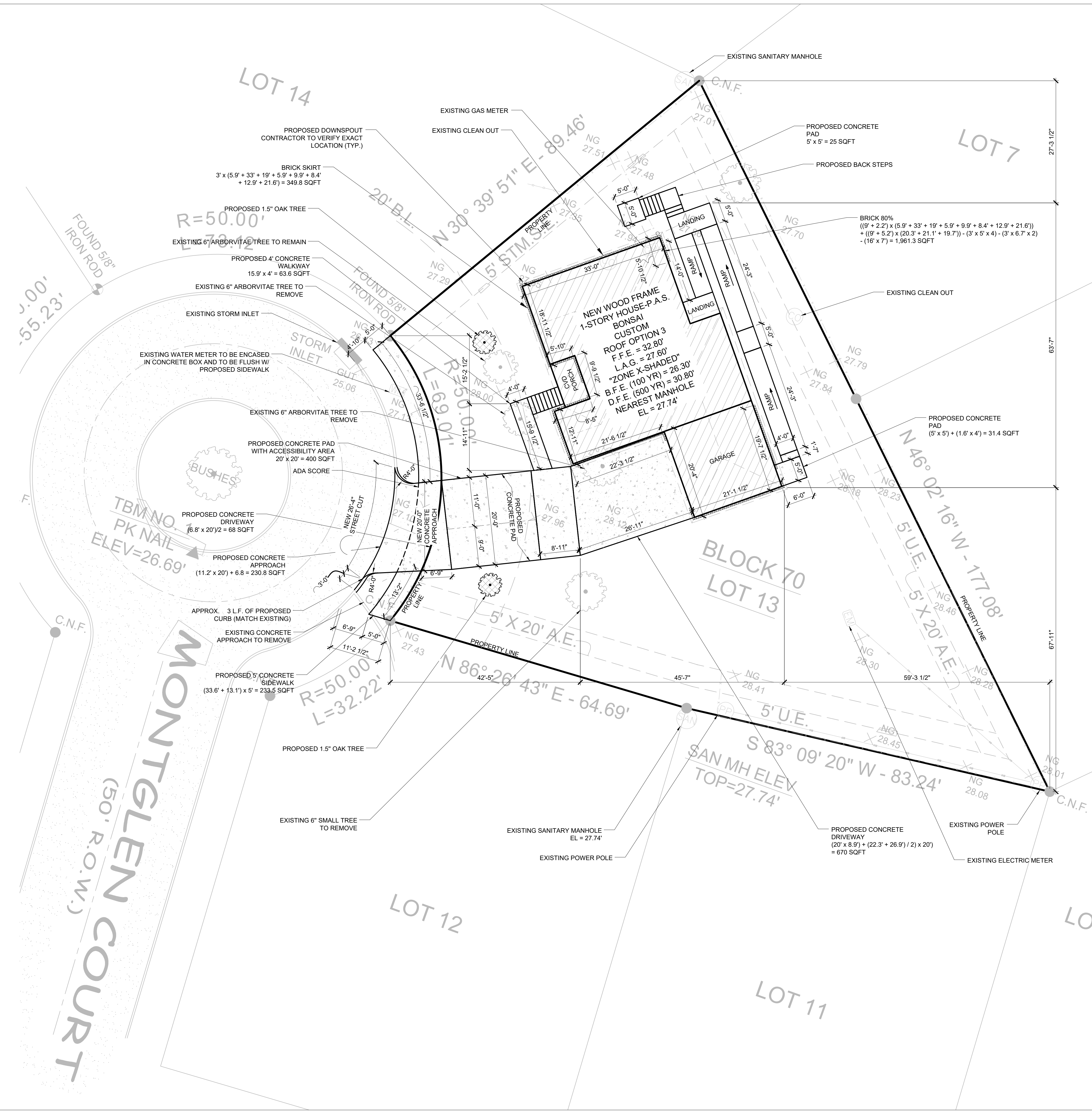
NOTE: SIGNATURES VALID FOR ONE YEAR ONLY AFTER DATE OF SIGNATURES



CLIENT:
 DUCKY RECOVERY
 PROJECT LOCATION OR ADDRESS:
 11 MONTGLEN CT.
 HOUSTON, TX 77061

DEMO PLAN

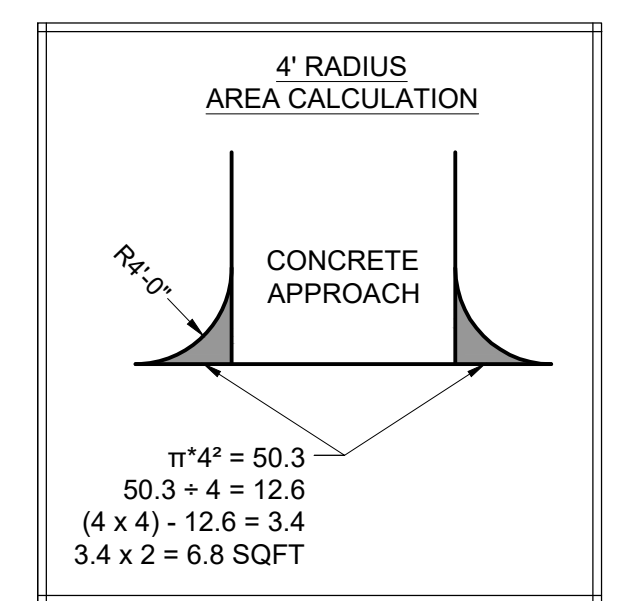
DRAWN BY:	G.T.	CHECKED BY:	CCH
PROJECT #:	19-0111-348	SCALE:	3/32" = 1'-0"
DATE:	02/04/2025		19-0111-GLO-BON-PAS- C-3.00



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PROPOSED CONCRETE	
SIDEWALK	233.5 SQFT
WALKWAY TO FRONT PORCH	63.6 SQFT
PARKING PAD	400 SQFT
APPROACH	230.8 SQFT
CONCRETE PAD	56.4 SQFT
DRIVEWAY	738 SQFT
TOTAL	1,722.3 SQFT

IMPERVIOUS SQUARE FOOTAGE			
EXISTING SQUARE FOOTAGE		PROPOSED SQUARE FOOTAGE	
LOT AREA	11,689 SQFT	LOT AREA	11,689 SQFT
EXISTING 1ST FLOOR	3,391.5 SQFT	PROPOSED 1ST FLOOR	2,161 SQFT
DRIVEWAY	901 SQFT	FRONT PORCH	78 SQFT
WALKWAY	124.8 SQFT	GARAGE	400 SQFT
CONCRETE PAD	61.6 SQFT	PARKING PAD	400 SQFT
WOOD SHED	84 SQFT	WALKWAY	63.6 SQFT
CARPORT	465.7 SQFT	CONCRETE PAD	56.4 SQFT
COVERED AREA	362.7 SQFT	DRIVEWAY	738 SQFT
WOOD BAR	141.3 SQFT	TOTAL COVERED	3,897 SQFT
TOTAL COVERED	5,532.6 SQFT	APPROXIMATE LAND TABULATION	
EXISTING LAND TABULATION		LOT AREA	11,689 SQFT
LOT AREA	11,689 SQFT	TOTAL COVERED AREA	3,897 SQFT
TOTAL COVERED AREA	5,532.6 SQFT	IMPERVIOUS PERCENTAGE	33.34 %
IMPERVIOUS PERCENTAGE	47.33 %		



LEGEND

GM	GAS METER (GM)	CMP	CORRUGATED METAL PIPE
GC	GAS VALVE (GV)	RCF	REINFORCED CONCRETE PIPE
FH	FIRE HYDRANT (FH)	PVC	POLYVINYL CHLORIDE PIPE
WM	WATER METER (WM)	CPVC	CORRUGATED PLASTIC PIPE
WV	WATER VALVE (WV)	S.S.E.	SANITARY SEWER EASEMENT
GI	GRATE INLET (GI)	S.S.E.	SANITARY SEWER EASEMENT
SMH	SANITARY MANHOLE (SAN.M.H.)	S.S.E.	SANITARY SEWER EASEMENT
SMH	STORM MANHOLE (S.M.H.)	S.S.E.	SANITARY SEWER EASEMENT
PV	PRESSURE VALVE (PV)	S.S.E.	SANITARY SEWER EASEMENT
LP	LIGHT POLE (LP)	S.S.E.	SANITARY SEWER EASEMENT
WW	WATER WELL (WW)	S.S.E.	SANITARY SEWER EASEMENT
TSP	TRAFFIC SIGNAL POLE (TSP)	S.S.E.	SANITARY SEWER EASEMENT
CO	CLEAN OUT (CO)	S.S.E.	SANITARY SEWER EASEMENT
BCM	BURIED CABLE MARKER (BCM)	S.S.E.	SANITARY SEWER EASEMENT
PP	POWER POLE (PP)	S.S.E.	SANITARY SEWER EASEMENT
UP	UTILITY POLE (UP)	S.S.E.	SANITARY SEWER EASEMENT
SP	SERVICE POLE (SP)	S.S.E.	SANITARY SEWER EASEMENT
EB	ELECTRIC BOX (EB)	S.S.E.	SANITARY SEWER EASEMENT
EM	ELECTRIC METER (EM)	S.S.E.	SANITARY SEWER EASEMENT
SE	ELECTRIC SHUTOFF (SE)	S.S.E.	SANITARY SEWER EASEMENT
KB	KNOX BOX	S.S.E.	SANITARY SEWER EASEMENT
W	WOOD FENCE	S.S.E.	SANITARY SEWER EASEMENT
CL	CHAIN-LINK	S.S.E.	SANITARY SEWER EASEMENT
IF	IRON FENCE	S.S.E.	SANITARY SEWER EASEMENT
P	PIPELINE	S.S.E.	SANITARY SEWER EASEMENT
B	BUILDING LINE	S.S.E.	SANITARY SEWER EASEMENT
OP	OVERHEAD POWER	S.S.E.	SANITARY SEWER EASEMENT
AS	ASPHALT	S.S.E.	SANITARY SEWER EASEMENT
CO	CONCRETE	S.S.E.	SANITARY SEWER EASEMENT
GR	GRAVEL	S.S.E.	SANITARY SEWER EASEMENT
WO	WOOD DECK	S.S.E.	SANITARY SEWER EASEMENT
ET	EXISTING TREE	S.S.E.	SANITARY SEWER EASEMENT
PT	PROPOSED TREE	S.S.E.	SANITARY SEWER EASEMENT
HB	HIGH BANK	S.S.E.	SANITARY SEWER EASEMENT

B.F.E. - BASE FLOOD ELEVATION (100 YEAR)
 D.F.E. - DESIGNATED FLOOD ELEVATION (500 YEAR)
 F.F.E. - FINISHED FLOOR ELEVATION
 P.A.S. - PILING AND STRINGER
 S.O.G. - SLAB ON GRADE
 H.A.G. - HIGHEST ADJACENT GRADE
 L.A.G. - LOWEST ADJACENT GRADE

NOTES

- THE FINISHED FLOOR ELEVATION SHALL BE A MINIMUM OF 1'-0" ABOVE NEAREST SANITARY MANHOLE, THEN 1'-0" ABOVE CROWN OF ROAD, THEN 0'-6" ABOVE H.A.G., OR 3'-0" ABOVE B.F.E., OR 3'-0" ABOVE D.F.E., WHICHEVER IS GREATEST.
- THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10' AWAY FROM THE FOUNDATION.
- NO BUILD LINES OR EASEMENTS SHOWN ON PLAT BEYOND THE 50' R.O.W.
- ANY EXISTING DRIVEWAY NOT PROVIDING ACCESS TO PROPERTY MUST BE REMOVED AND REPLACED WITH NEW CURB & GUTTER.
- FINISHED CONSTRUCTION GRADING PATTERN SHALL CONVEY WATER RUN-OFF AWAY FROM ADJACENT PROPERTIES.
- RAMP TO SLOPE AT A MINIMUM OF 1" PER FOOT, PER TEXAS ACCESSIBILITY STANDARDS (TAS)
- INSTALL ROOF DRAIN GUTTERS AND DOWN SPOUTS. ALL ROOF DRAINAGE TO SHEET FLOW TO DRAINAGE SWALE
- GUTTERS AND DOWNSPOUTS:
 - PLAIN HALF ROUND: 6" WIDE AND 4" DIAMETER DOWNSPOUT, MINIMUM 22 GAUGE GALVANIZED STEEL, PREFINISHED.
 - STANDARD K-STYLES: 6" WIDE AND 4" X 5" DOWNSPOUT, MINIMUM 22-GAUGE GALVANIZED STEEL, PREFINISHED.
 - PROVIDE SPLASH BLOCK AT EACH DOWNSPOUT.

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CLIENT:
 DUCKY RECOVERY
 PROJECT LOCATION OR ADDRESS:
 11 MONTGLEN CT.
 HOUSTON, TX 77061

SITE PLAN

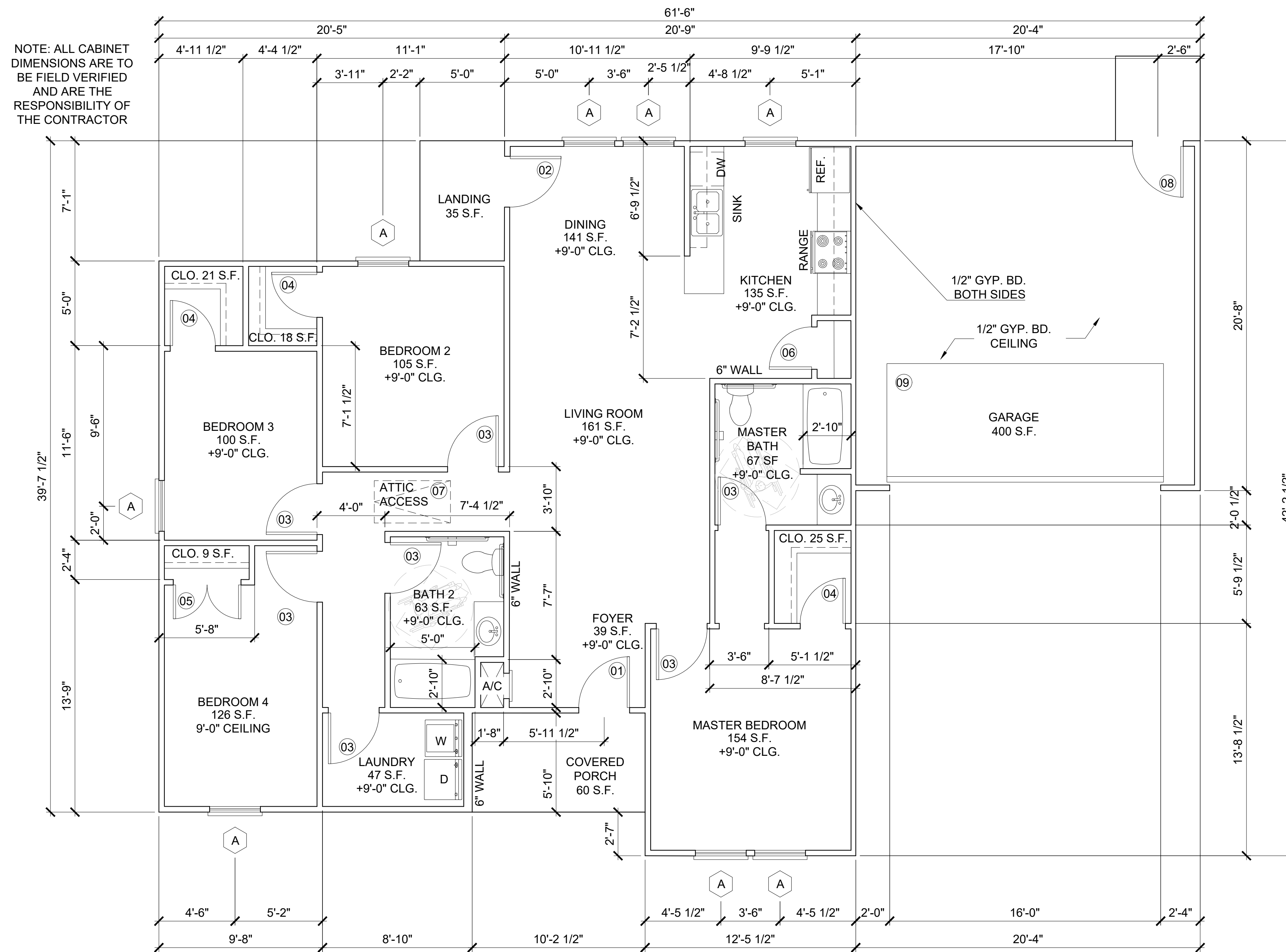
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PROJECT #:	19-0111-348	SCALE:	3/32" = 1'-0"
DATE:	02/04/2025		19-0111-GLO-BON-PAS- C-1.00

DOOR SCHEDULE			
MARK	QTY	DESCRIPTIONS	REMARKS
01	1	3'-0" X 6'-8"	EXTERIOR WITH PEEPHOLE
02	1	3'-0" X 6'-8"	EXTERIOR WITH PEEPHOLE
03	7	3'-0" X 6'-8"	INTERIOR
04	3	2'-8" X 6'-8"	CLOSET
05	1	(2) 2'-0" X 6'-8"	DOUBLE DOORS
06	1	2'-6" X 6'-8"	PANTRY
07	1	30" X 54" ATTIC ACCESS	350 POUND LADDER RATING
08	1	3'-0" X 6'-8"	EXTERIOR
09	1	16'-0" X 7'-0"	GARAGE

WINDOW SCHEDULE			
MARK	QTY	DESCRIPTIONS	REMARKS
A	8	3'-0" X 5'-0"	SINGLE HUNG

ALUMINUM MILL-FINISHED WINDOWS INSET & RECESSED WITH A MINIMUM OF 40 STC RATING

SQUARE FOOTAGE CALCULATIONS		
LOCATION	SQUARE FOOTAGE	REMARKS
FLOOR PLAN	2,161 S.F.	
FRONT PORCH	78 S.F.	
LANDING	43 S.F.	



- NOTES**
- SEE SHEET C-1.00 FOR LAYOUT AND LOCATION OF RAMP, STAIRS, AND LANDINGS.
 - SEE SHEET SD-4.00 FOR RAMP AND STAIR DETAILS
 - ROOF OVERHANG TO BE A 12" MINIMUM WHEN USING SIDING AND 16" MINIMUM WHEN USING BRICK. (DIMENSIONS ARE OF ROUGH FRAMING)
 - WINDOWS USED FOR EGRESS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 S.F. WITH A MINIMUM HEIGHT OF 24" AND A MINIMUM WIDTH OF 20" PER THE INTERNATIONAL RESIDENTIAL CODE.
 - PLAIN HALF-ROUND 6" WIDE AND 4" DIAMETER DOWNSPOUT, MINIMUM 22-GAUGE GALVANIZED STEEL, PREFINISHED. OR STANDARD K-STYLE 6" WIDE AND 4"X5" DOWNSPOUT, MINIMUM 22-GAUGE GALVANIZED STEEL, PREFINISHED.
 - ALL DOWNSPOUTS TO HAVE SPLASH BLOCK.
 - SMART VENT (1540-510) FLOOD VENTS ARE REQUIRED WHEN ENCLOSED SPACE IS BELOW B.F.E. IN AN "A" FLOOD ZONE.
 - FEMA APPROVED BREAKAWAY WALLS OR LOUVERS ARE REQUIRED WHEN ENCLOSED SPACE IS BELOW B.F.E. IN A "V" FLOOD ZONE.
 - ALL MATERIALS BELOW BFE AND/OR DFE SHALL BE FLOOD RESISTANT MATERIAL INCLUDING, BUT NOT LIMITED TO TREATED FRAMING MATERIAL. SEE FEMA TECHNICAL BULLETIN 2, FLOOD DAMAGE RESISTANT MATERIALS REQUIREMENTS (2008).
 - RAIN DIVERTER STRIP IS REQUIRED OVER A/C UNIT AND ENTRANCES.
 - ATTIC ACCESS TO HAVE A PULL DOWN STAIRWAY WITH A MINIMUM WIDTH OF 22".
 - BUILDER SHALL EXERCISE JUDGEMENT IN PLACEMENT OF EXTERNAL LIGHTING FOR RAMP CONNECTED TO A SINGLE SWITCH LOCATED AT EITHER THE FRONT OR THE BACK DOOR.
 - WATER HEATER TO BE LOCATED IN ATTIC.
 - MINIMUM 30" X 22" RETURN AIR GRILLE.

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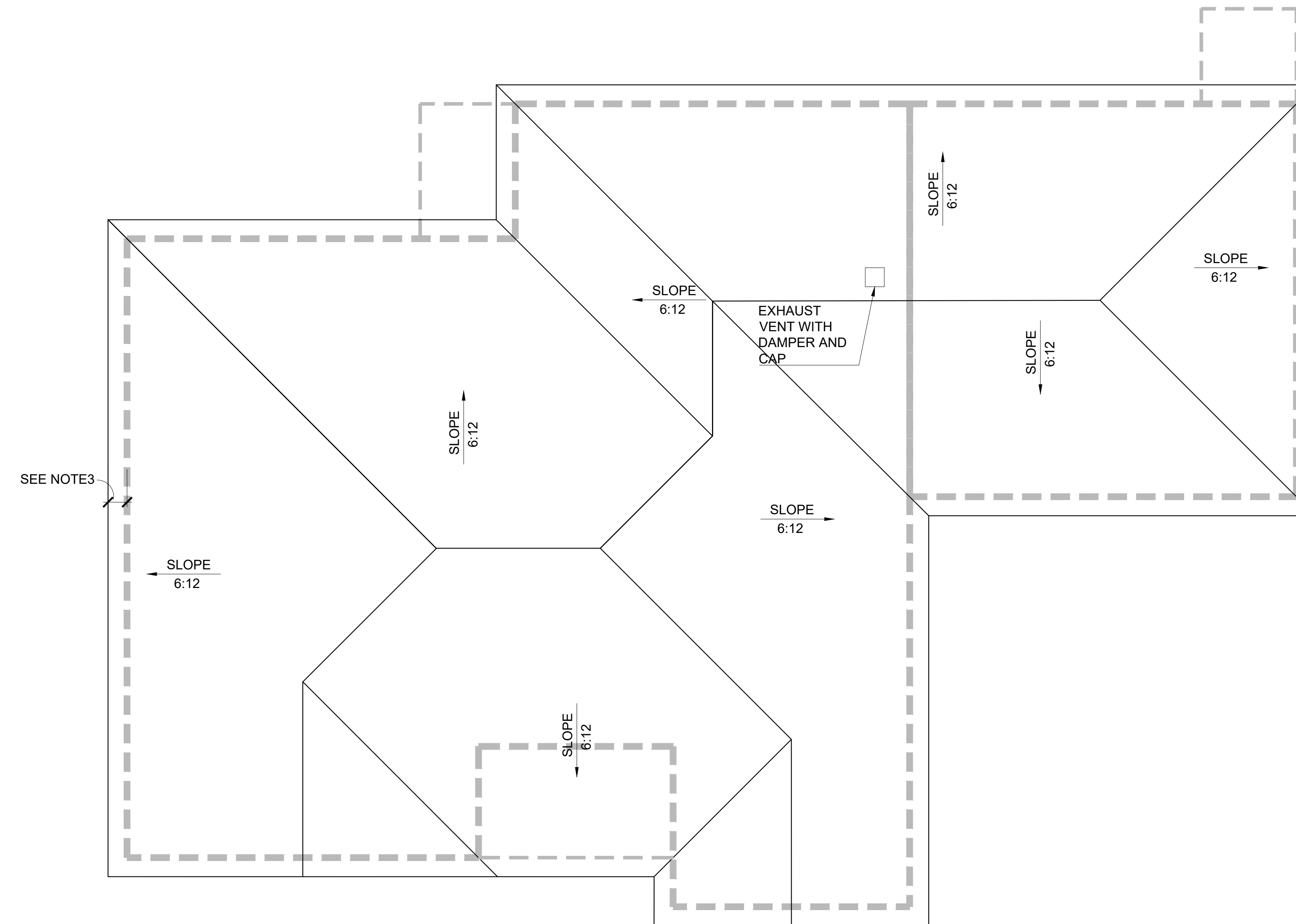
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BONSAI FLOOR PLAN OPTION 3 (CUSTOM)

DRAWN BY:	DAS	CHECKED BY:	CCH
PROJECT #:	19-0111-348	SCALE:	N.T.S.
DATE:	02/04/2025	PROJECT NAME:	19-0111-GLO-BON-PAS-

01 FLOOR PLAN (CUSTOM)
OPTION 3



01 ROOF PLAN (CUSTOM)
OPTION 3

NOTES

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6. ALL DOWNSPOUTS TO HAVE SPLASH BLOCK.
7. SMART VENT (1540-510) FLOOD VENTS ARE REQUIRED WHEN ENCLOSED SPACE IS BELOW B.F.E. IN AN "A" FLOOD ZONE.
8. FEMA APPROVED BREAKAWAY WALLS OR LOUVERS ARE REQUIRED WHEN ENCLOSED SPACE IS BELOW B.F.E. IN A "V" FLOOD ZONE.
9. ALL MATERIALS BELOW BFE AND/OR DFE SHALL BE FLOOD RESISTANT MATERIAL INCLUDING, BUT NOT LIMITED TO TREATED FRAMING MATERIAL. SEE FEMA TECHNICAL BULLETIN 2, FLOOD DAMAGE RESISTANT MATERIALS REQUIREMENTS (2008).
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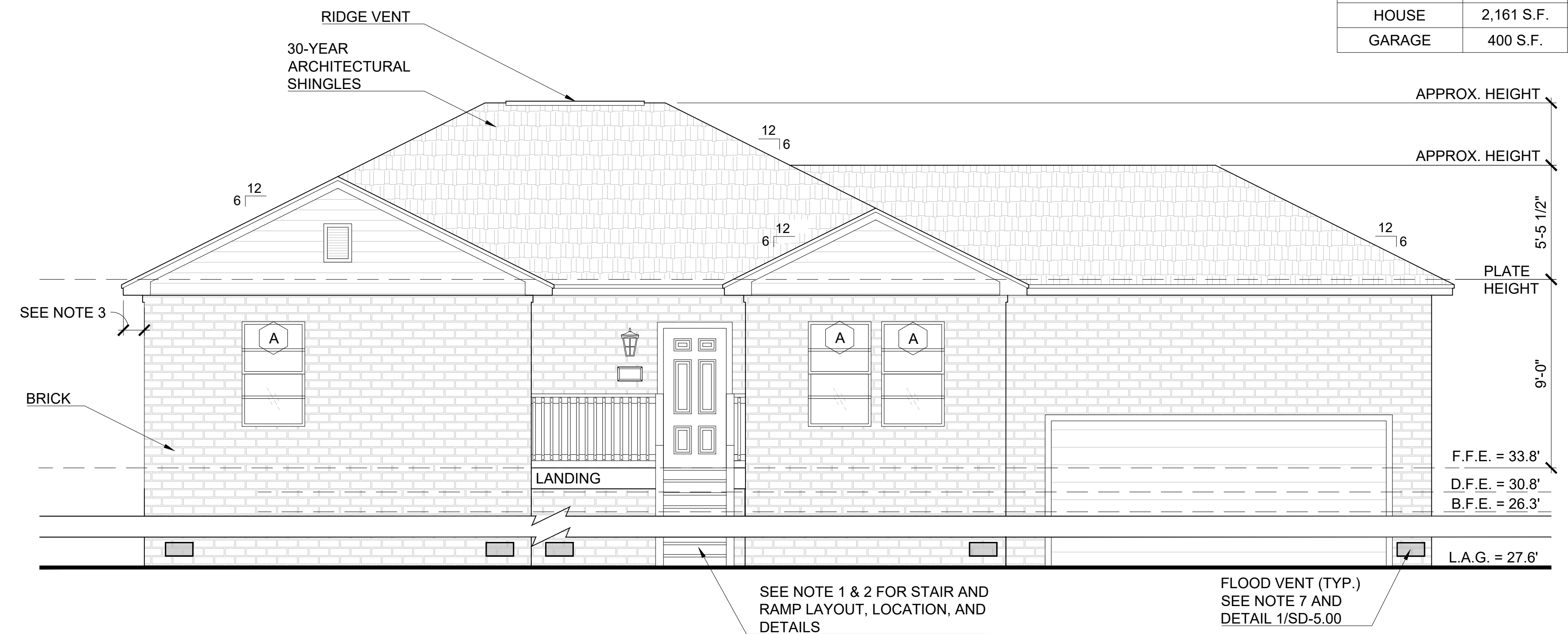
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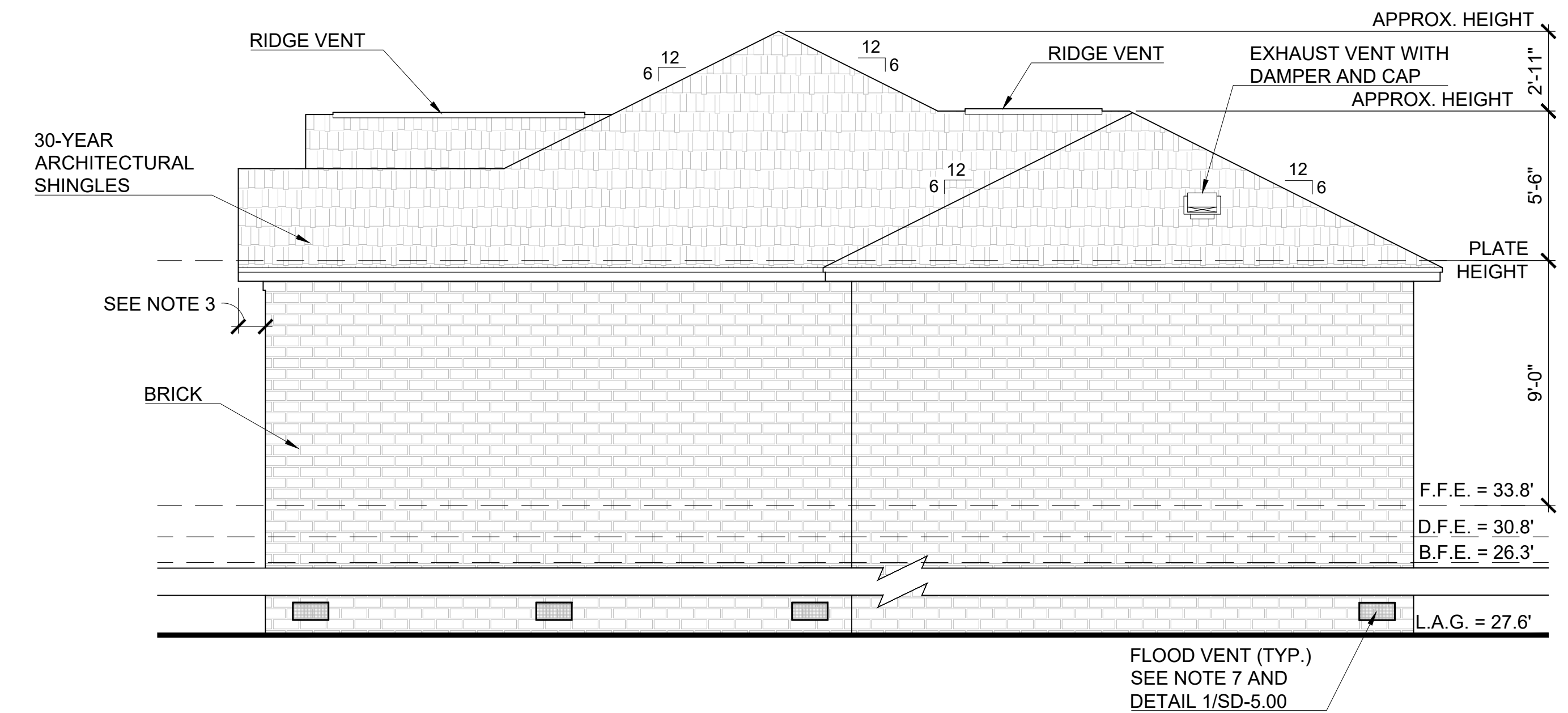
BONSAI
ROOF PLAN
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FLOOD VENT CALCULATION				
	AREA ENCLOSED	S.F. PER VENT	S.F. / 200	TOTAL NUMBER OF VENTS REQUIRED
HOUSE	2,161 S.F.	200	10.805	11
GARAGE	400 S.F.	200	2.0	2



01 FRONT ELEVATION (CUSTOM)
OPTION 3



02 RIGHT ELEVATION (CUSTOM)
OPTION 3

- NOTES**
- SEE SHEET C-1.00 FOR LAYOUT AND LOCATION OF RAMP, STAIRS, AND LANDINGS.
 - SEE SHEET SD-4.00 FOR RAMP AND STAIR DETAILS
 - ROOF OVERHANG TO BE A 12" MINIMUM WHEN USING SIDING AND 16" MINIMUM WHEN USING BRICK. (DIMENSIONS ARE OF ROUGH FRAMING)
 - WINDOWS USED FOR EGRESS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 S.F. WITH A MINIMUM HEIGHT OF 24" AND A MINIMUM WIDTH OF 20" PER THE INTERNATIONAL RESIDENTIAL CODE.
 - PLAIN HALF-ROUND 6" WIDE AND 4" DIAMETER DOWNSPOUT, MINIMUM 22-GAUGE GALVANIZED STEEL, PREFINISHED. OR STANDARD K-STYLE 6" WIDE AND 4"X5" DOWNSPOUT, MINIMUM 22-GAUGE GALVANIZED STEEL, PREFINISHED.
 - ALL DOWNSPOUTS TO HAVE SPLASH BLOCK.
 - SMART VENT (1540-510) FLOOD VENTS ARE REQUIRED WHEN ENCLOSED SPACE IS BELOW B.F.E. IN AN "A" FLOOD ZONE.
 - FEMA APPROVED BREAKAWAY WALLS OR LOUVERS ARE REQUIRED WHEN ENCLOSED SPACE IS BELOW B.F.E. IN A "V" FLOOD ZONE.
 - ALL MATERIALS BELOW BFE AND/OR DFE SHALL BE FLOOD RESISTANT MATERIAL INCLUDING, BUT NOT LIMITED TO TREATED FRAMING MATERIAL. SEE FEMA TECHNICAL BULLETIN 2, FLOOD DAMAGE RESISTANT MATERIALS REQUIREMENTS (2008).
 - RAIN DIVERTER STRIP IS REQUIRED OVER A/C UNIT AND ENTRANCES.
 - ATTIC ACCESS TO HAVE A PULL DOWN STAIRWAY WITH A MINIMUM WIDTH OF 22".
 - BUILDER SHALL EXERCISE JUDGEMENT IN PLACEMENT OF EXTERNAL LIGHTING FOR RAMP CONNECTED TO A SINGLE SWITCH LOCATED AT EITHER THE FRONT OR THE BACK DOOR.
 - WATER HEATER TO BE LOCATED IN ATTIC.
 - MINIMUM 30" X 22" RETURN AIR GRILLE.

Revisions:

#	DATE	DESCRIPTION OF CHANGE
0	02/04/2025	ISSUED FOR APPROVAL

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FOR APPROVAL

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SIGNATURE:

DATE:

NOTE: SIGNATURES VALID FOR ONE YEAR ONLY AFTER DATE OF SIGNATURES

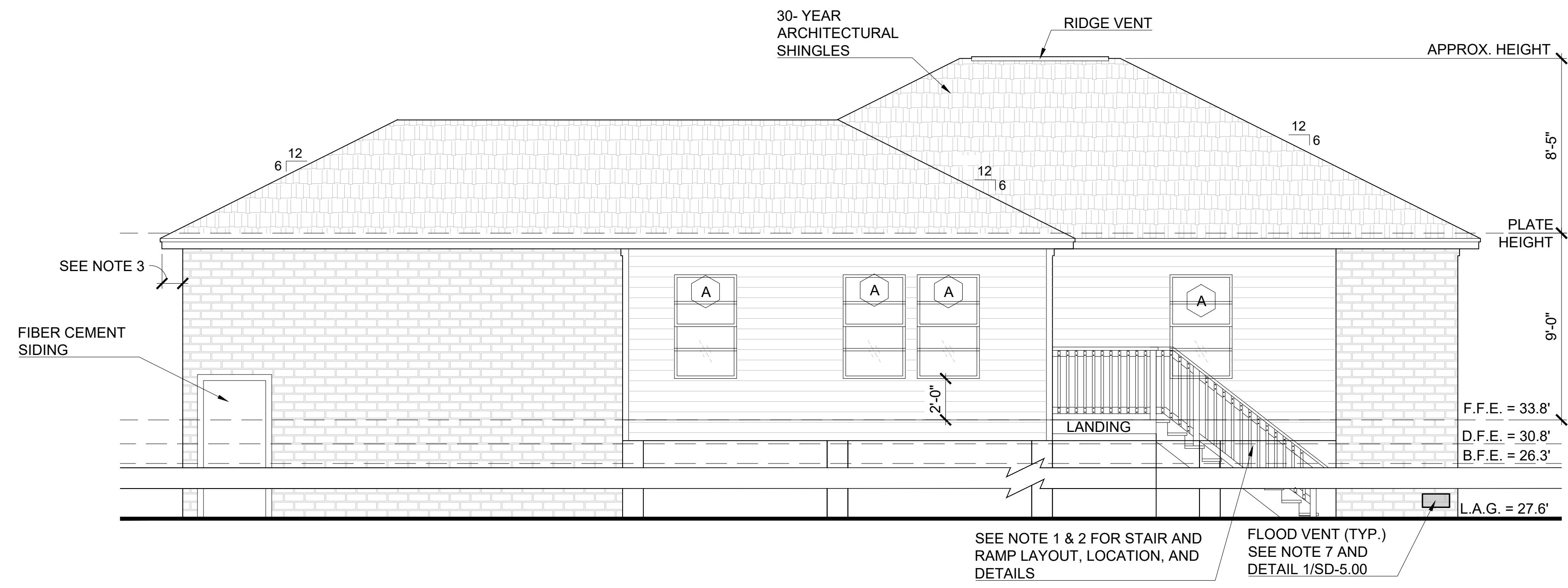
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DUCKY RECOVERY

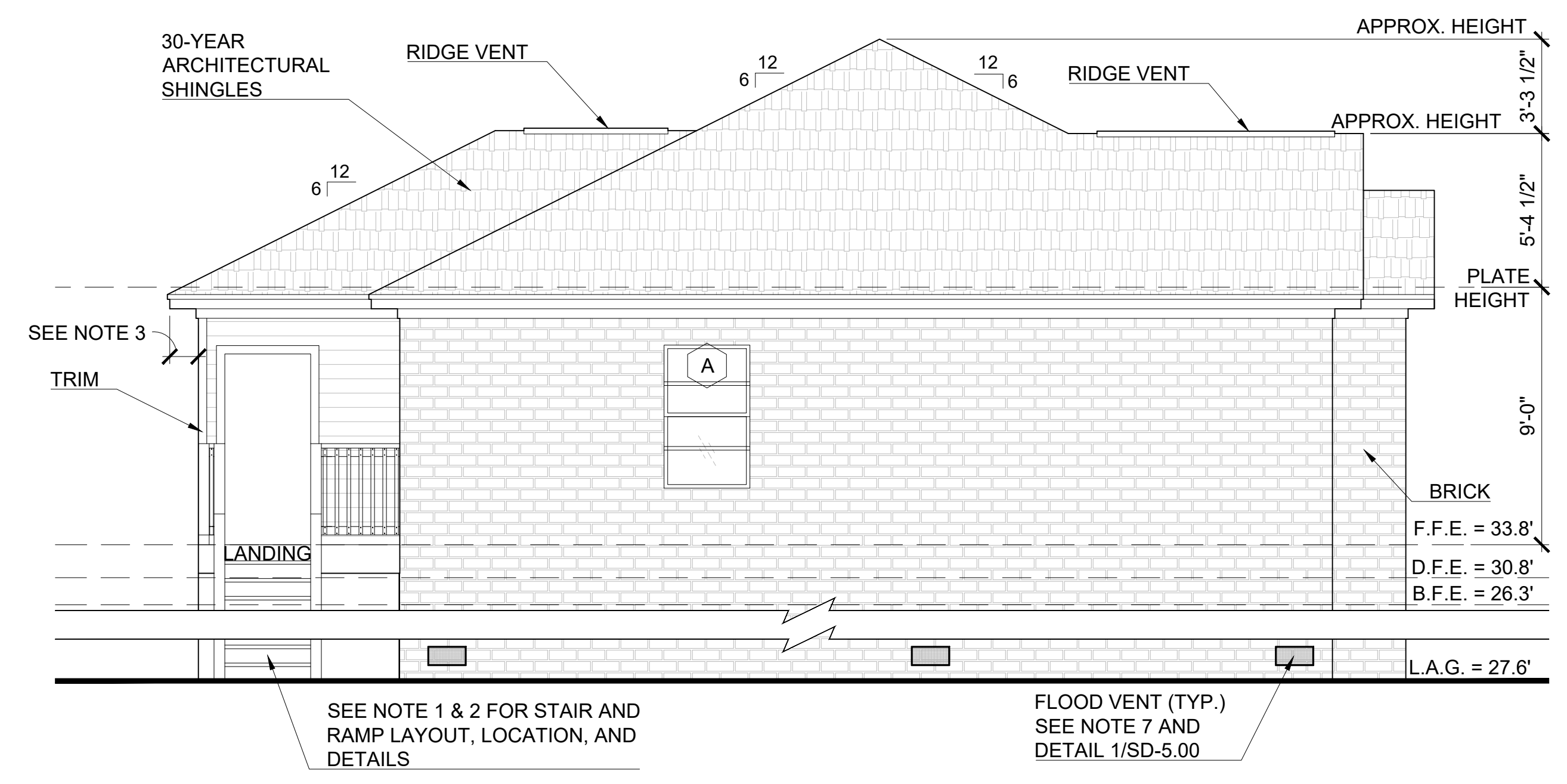
PROJECT LOCATION OR ADDRESS:
11 MONTGLEN CT.
HOUSTON, TX 77061

BONSAI
EXTERIOR ELEVATIONS
OPTION 3 (CUSTOM)

DRAWN BY:	DAS	CHECKED BY:	CCH
PROJECT #:	19-0111-348	SCALE:	N.T.S.
DATE:	02/04/2025		



01 REAR ELEVATION (CUSTOM)
OPTION 3



02 LEFT ELEVATION (CUSTOM)
OPTION 3

NOTES

1. SEE SHEET C-1.00 FOR LAYOUT AND LOCATION OF RAMP, STAIRS, AND LANDINGS.
2. SEE SHEET SD-4.00 FOR RAMP AND STAIR DETAILS
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 CLIENT:
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 PROJECT LOCATION OR ADDRESS:
 11 MONTGLEN CT.
 HOUSTON, TX 77061

BONSAI
EXTERIOR ELEVATIONS
OPTION 3 (CUSTOM)

DRAWN BY:	DAS	CHECKED BY:	CCH
PROJECT #:	19-0111-348	SCALE:	N.T.S.
DATE:	02/04/2025	19-0111-GLO-BON-PAS-	A-2.10