

CERTIFICATE OF APPROPRIATENESS

Applicant: Jessie Enander, agent for, Bennie Davis, owner

Property: 11 Montglen Ct, Lot 13, Block 70, Glenbrook Valley Sec 12 R/P Neighborhood Subdivision. The property includes a historic 3,572 square foot, one-story brick veneer single-family residence and an attached garage converted into conditioned space situated on a 11,689 square foot asymmetrical interior lot.

Significance: Contributing Modern Ranch style residence, constructed circa 1963, located in the Glenbrook Valley Historic District. No previous COAs. Plumbing permit in Aug. 2012 for updating water heater system. Front elevation windows replaced with vinyl between 2015 & 2018.

Proposal: Demolition of Single-Family Residential

- According to the structural assessment report, Hurricane Harvey in August 2017 caused damage to the following:
 - Foundation System
 - Floor System
 - Roof/Ceiling System
 - Wall System
 - ****See Attachment B for full Structural Assessment Report****
- According to TX General Land Office, Estimated Cost of Repairs Report, the site address did not receive any flood water.
- Damage to structure resulted from Hurricane Harvey’s rain and wind
 - ****See Attachment C for full Estimated Cost of Repairs Report****

Public Comment: No public comment received.

Civic Association: No comment received.

Recommendation: -
HAHC Action: -

Sec. 33-240: Criteria for issuance of certificates of appropriateness

(b) The applicant for a certificate of appropriateness shall have the burden of demonstrating that the application satisfies the criteria applicable to the issuance of the certificate of appropriateness. To approve or disapprove an application for a certificate of appropriateness, the HAHC shall consider and make findings with respect to the relationship between the proposed activity and the applicable criteria. The HAHC shall take into consideration the current needs of the applicant and shall be sensitive to the property owner’s financial condition in determining whether to issue a certificate of appropriateness.

Sec. 33-240. - Criteria for issuance of certificates of appropriateness—General.



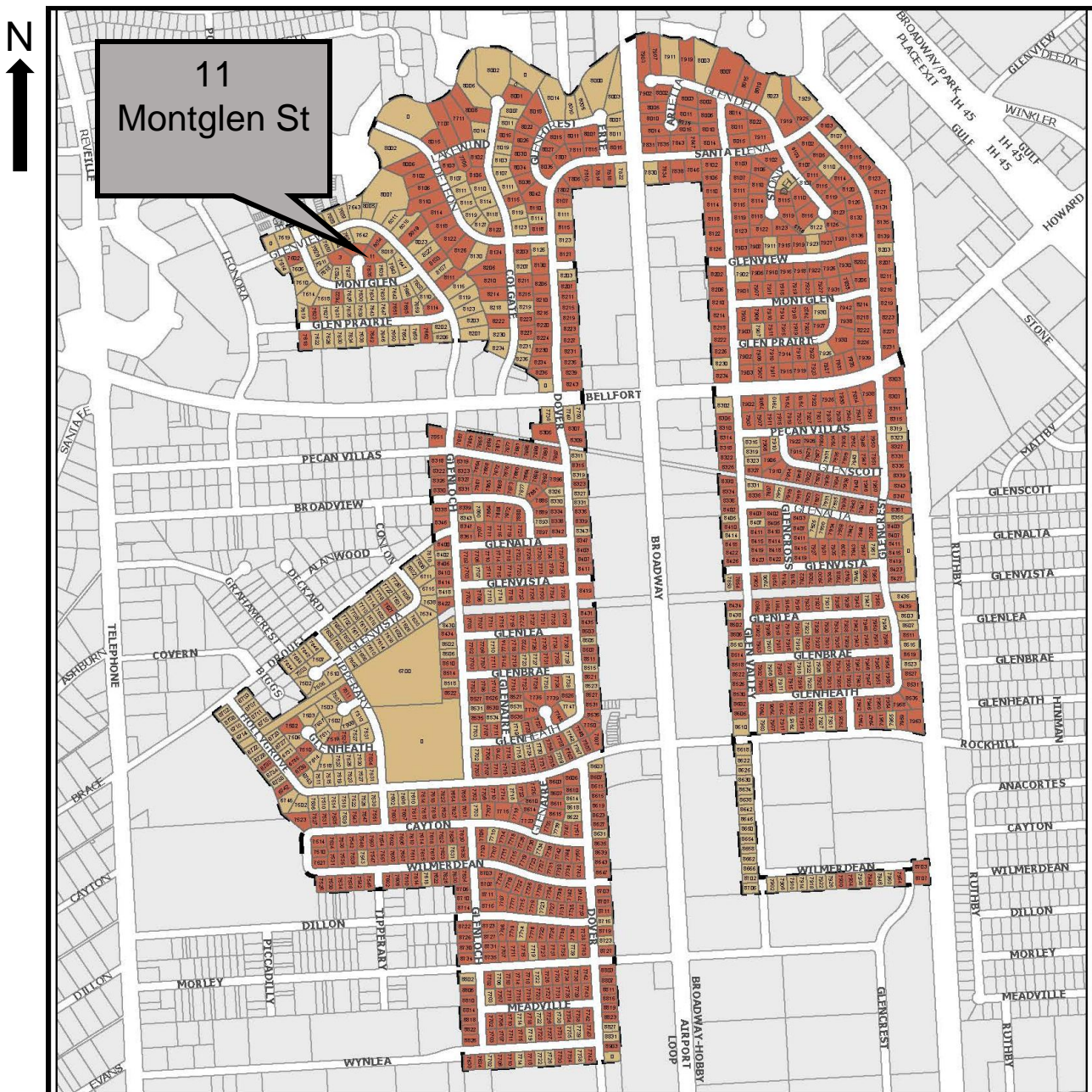
- (a) The HAHC shall be the body responsible for approving certificates of appropriateness unless otherwise provided in this article. The HAHC shall review and approve or disapprove a certificate of appropriateness pursuant to:
 - (1) The applicable specific criteria in this division; and
 - (2) Design guidelines approved pursuant to [section 33-268](#) of this Code or division 6 of this article for the Old Sixth Ward Protected Historic District, to the extent applicable.
 - (3) In the event of a conflict between the criteria in this division and the design guidelines, more restrictive criteria shall control.

(b) The applicant for a certificate of appropriateness shall have the burden of demonstrating that the application satisfies the criteria applicable to the issuance of the certificate of appropriateness. To approve or disapprove an application for a certificate of appropriateness, the HAHC shall consider and make findings with respect to the relationship between the proposed activity and the applicable criteria. The HAHC shall take into consideration the current needs of the applicant and shall be sensitive to the property owner's financial condition in determining whether to issue a certificate of appropriateness.

(c) In reviewing applications for certificates of appropriateness under this article, the HAHC or the director, respectively as appropriate, shall also consider any elements of the proposed activity that may be necessary to enable the property to comply with any other applicable city ordinances or state or federal law so as to facilitate compliance with this ordinance and other applicable laws.



District Map



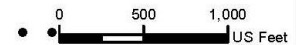
Glenbrook Valley Historic District

Historic District Boundary



Building Classification

- Contributing
- Non-Contributing



This map is made available for reference purposes only and should not be substituted for a survey product. The City of Houston will not accept liability of any kind in conjunction with its use.

Source: COGIS
Date: March 2024
Reference: pj26344



PLANNING & DEVELOPMENT DEPARTMENT

Inventory Photo



FEMA Flood Plain Map



Site Address Located in 500-year Floodplain

Attachment A

Current Photos

Provided by Texas General Land
Office – Homeowner Assistance
Program











Attachment B

Structural

Assessment Report

**Provided by Texas General Land
Office – Homeowner Assistance
Program**



COBALT

ENGINEERING AND INSPECTIONS, LLC



STRUCTURAL ASSESSMENT REPORT
Project No. 19-0111-348
Ducky Recovery

STRUCTURAL ASSESSMENT REPORT
Not Suitable for Rehabilitation (NSFR)

SUBJECT ADDRESS:
11 Montglen Ct
Houston, Texas 77061

Inspection Date: August 29, 2024
Report Date: September 9, 2024

STRUCTURAL ASSESSMENT REPORT (SAR) Not Suitable for Rehabilitation (NSFR)

Signatures

The opinions and findings expressed in this Structural Assessment Report (SAR) are based upon the information available to these writers as of the date of this report and are the result of limited non-destructive visual inspection of the property and exposed building components. As such, Cobalt Engineering & Inspections LLC assumes no liability for the misuse of this information by others and reserves the right to modify the conclusions contained herein upon receipt of or discovery of additional information. Due to the limited access and the non-destructive nature of the inspection, Cobalt cannot be held responsible for any hidden defects that may negatively impact on the performance of the structure. This report is intended to provide an overview of the existing conditions and should not be used as an indicator of future performance; no expressed or implied warranties or guarantees of any kind are given.

The photos contained in this SAR depict the conditions observed during the on-site assessment, and do not cover the entirety of observed conditions, or photographs taken onsite. The photographs were selected based on their perceived clear and concise visual representation necessary to provide evidence to the Description of Structural Concerns listed in this SAR.

This SAR is intended for the exclusive use of the subject residence located at:

11 Montglen Ct., Houston, Texas 77061

Information in this SAR addresses the structural deficiencies of the subject residence, with photo documentation of the residence shown in *Appendix A* which depicts the conditions observed during our on-site assessment. According to the Harris Central Appraisal District's report, shown in *Appendix B*, the residence was built in 1963, making the oldest parts of the structure at least 61-years old.

CONCLUSION

Cobalt has determined that the residence is "not suitable for rehabilitation" and it is in the best interest to discontinue any potential rehabilitation efforts of the residence.

We at Cobalt appreciate the opportunity to serve you.

R. Adam Ballesteros, P.E., CFEI
Structural Engineering Department Manager

Texas Licensed Professional Engineer Number: 126358
Texas Licensed Professional Engineering Firm Number: F17742



STRUCTURAL ASSESSMENT REPORT (SAR)

Not Suitable for Rehabilitation (NSFR)

Structural Assessment:

Foundation System: The foundation of the dwelling is a concrete slab on grade foundation. Cobalt performed a relative elevation survey (Appendix B) and determined the floor was 2.8-inch(es) out of level with relative elevation changes ranging from +2.3 inch(es) to -0.5-inch(es). The converted garage had an absolute elevation difference of 3.1 inches, respectively. Additionally, patched concrete flatwork was observed at the front of the residence indicating historical foundation repairs/leveling as stated by the homeowner. Foundation corner cracks, also known as slab cracks, were observed, and affected the adjacent brick cladding. These cracks are characterized by a "wedge" shaped fissure in the concrete, often accompanied by a slight displacement or shift in the concrete wedge. Typically, the crack starts 3 to 8 inches from the corner of the concrete and is located on both sides or faces of the foundation. The foundation had significant cracking along the perimeter footing, and the homeowner also described historical plumbing issues, which also indicate significant foundation and underground piping damage.

Floor System: The residence's flooring was observed to consist of multiple flooring types. Cracking was observed within the tile and terrazzo flooring system. Cracking in terrazzo floors often results from substrate movement, issues with the foundation system, improper installation, moisture issues, load stress, and/or thermal expansion. Substrate movement, such as settling or shrinkage, is a primary cause, while improper installation can lead to insufficient curing or binder issues. Excessive moisture can cause expansion and cracking, and heavy loads or impacts may also damage the floor. Temperature changes can cause the terrazzo to expand and contract, adding stress that results in cracks.

Roof/Ceiling System: The roof system consisted of a gable roof. The roof covering was architectural asphalt shingles. Ceiling drywall cracking and moisture staining, suggesting historical roof leaks, and this condition was observed in various areas within the interior of the residence. During the visual inspection of the attic access, it was observed that the roof rafters have become detached from the ridge board, compromising the roof's structural integrity, and requiring immediate stabilization. Additionally, one of the roof rafters was found to be fractured, with a 2x4 installed as a temporary brace. Signs of deterioration in the roof decking were also noted, suggesting historical roof leaks.

Upon inspecting the exterior roof covering system various sections of the roof displayed exposed and rusted nails, damaged shingles displaying signs of wear and tear, and missing or aged shingles. Additionally, there was a significant loss of surface granules on the shingles indicative of age-related deterioration.

Wall System: The walls of the home were constructed of lumber framing. The exterior walls consisted of brick cladding. The interior walls were clad with drywall board finishes. Cracking in the brick and mortar was prevalent throughout the exterior of the residence, with visible signs of repair. Internally, cracking was identified in the drywall, specifically around walls, headers, and windowsills, encompassing various areas of the residence.

Recommended Solution

Due to the deficiencies observed during the onsite inspection, and listed above in the Structural Assessment section, it is recommended that the existing residence including the foundation be demolished, and replaced with a new residential structure, in lieu of any potential rehabilitation efforts of the existing residence.



STRUCTURAL ASSESSMENT REPORT (SAR) Not Suitable for Rehabilitation (NSFR)

APPENDIX A

Photo Documentation



Photograph 1: View of front elevation of the residence.



Photograph 2: View of the right elevation of the residence.

STRUCTURAL ASSESSMENT REPORT (SAR) Not Suitable for Rehabilitation (NSFR)



Photograph 3: View of rear elevation of the residence.



Photograph 4: View of left elevation of the residence.

STRUCTURAL ASSESSMENT REPORT (SAR) Not Suitable for Rehabilitation (NSFR)



Photograph 5: Observation of foundation concrete corner cracking located at the front left of the residence.



Photograph 6: Typical view of concrete corner spalling due to the corrosion of embedded reinforcing steel at the edge of the exterior foundation grade beam.

STRUCTURAL ASSESSMENT REPORT (SAR) Not Suitable for Rehabilitation (NSFR)



Photograph 7: Observation of concrete spalling due to the corrosion of embedded reinforcing steel at the edge of the exterior foundation grade beam.



Photograph 8: Typical view of patched concrete flatwork indicating historical foundation repairs/leveling.

STRUCTURAL ASSESSMENT REPORT (SAR) Not Suitable for Rehabilitation (NSFR)



Photograph 9: Typical view of patched concrete flatwork indicating historical foundation repairs/leveling.



Photograph 10: Typical view of brick work at the front of the residence. *Notice the variation in brick color as indicated by the red arrows.*

STRUCTURAL ASSESSMENT REPORT (SAR) Not Suitable for Rehabilitation (NSFR)



Photograph 11: Typical view of patched concrete flatwork indicating historical foundation repairs/leveling.



Photograph 12: Typical view of historical mortar repair.

STRUCTURAL ASSESSMENT REPORT (SAR) Not Suitable for Rehabilitation (NSFR)



Photograph 13: Typical view of historical mortar repair.



Photograph 14: Typical view of cracking on the exterior perimeter foundation grade beam at the left of the residence.

STRUCTURAL ASSESSMENT REPORT (SAR) Not Suitable for Rehabilitation (NSFR)



Photograph 15: Typical view of foundation concrete corner cracking located at the rear left of the residence.



Photograph 16: Typical view of historical mortar repair.

STRUCTURAL ASSESSMENT REPORT (SAR) Not Suitable for Rehabilitation (NSFR)



Photograph 17: Typical view of cracking on the exterior perimeter foundation grade beams at the rear of the residence.



Photograph 18: Typical view of historical mortar repair at the right exterior wall of the residence.

STRUCTURAL ASSESSMENT REPORT (SAR) Not Suitable for Rehabilitation (NSFR)



Photograph 19: Typical view of ceiling displaying drywall cracking in the foyer.



Photograph 20: Typical view of cracking within the terrazzo floor tile.

STRUCTURAL ASSESSMENT REPORT (SAR) Not Suitable for Rehabilitation (NSFR)



Photograph 21: Typical view of interior wall of the hallway (*adjacent to center bedroom*) displaying drywall cracking extending from the door header.

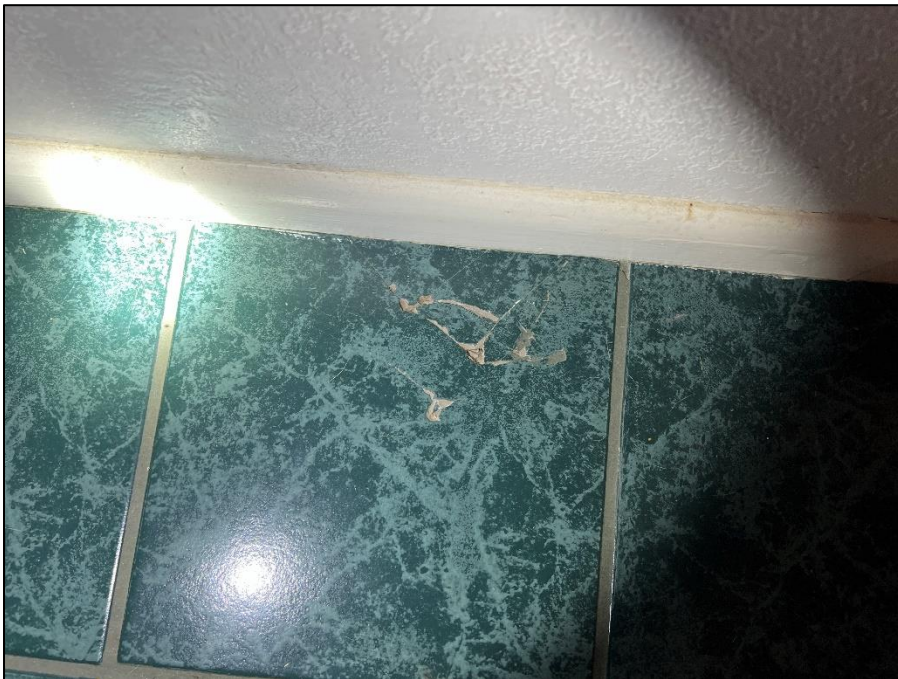


Photograph 22: Typical view of ceiling displaying drywall cracking extending from the attic access.

STRUCTURAL ASSESSMENT REPORT (SAR) Not Suitable for Rehabilitation (NSFR)



Photograph 23: Typical view of loose tile and cracking within the tile flooring.

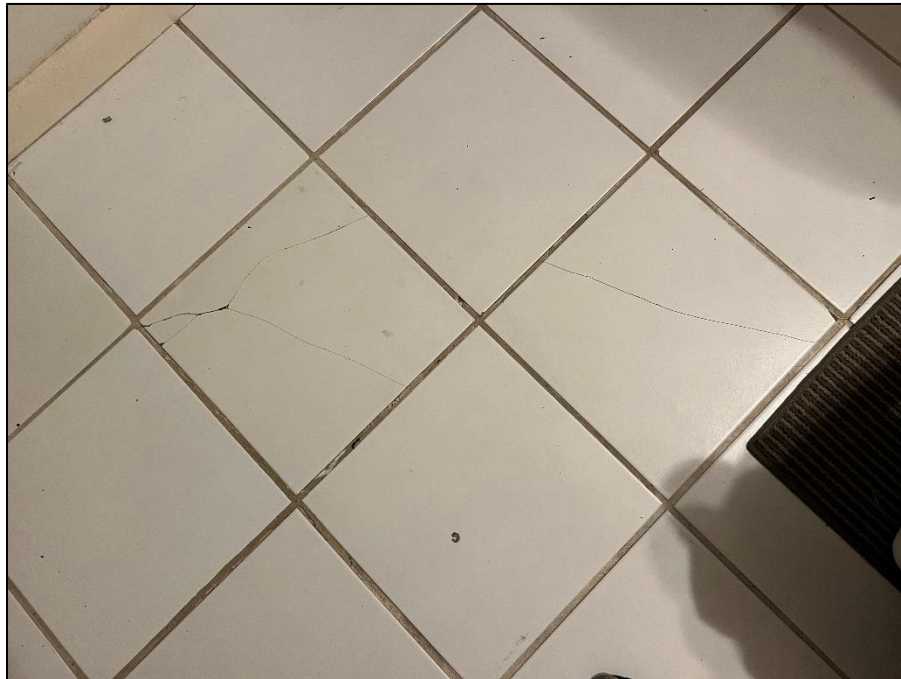


Photograph 24: Typical view of loose tile and cracking within the tile flooring.

STRUCTURAL ASSESSMENT REPORT (SAR) Not Suitable for Rehabilitation (NSFR)



Photograph 25: Typical view of front exterior wall of the front left bedroom displaying drywall cracking extending from the windowsill.

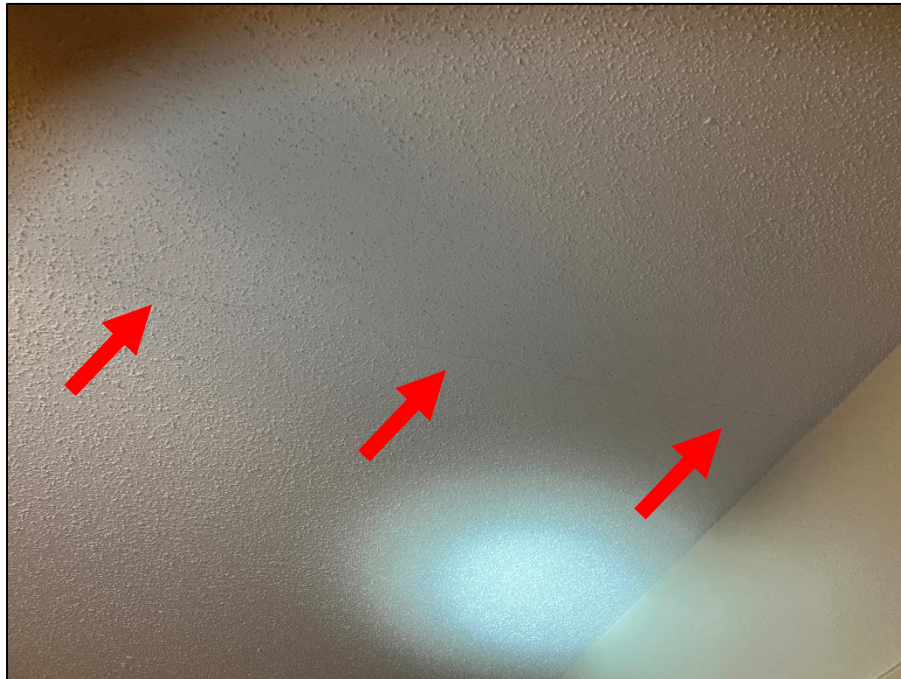


Photograph 26: Typical view of cracking within the tile flooring.

STRUCTURAL ASSESSMENT REPORT (SAR) Not Suitable for Rehabilitation (NSFR)



Photograph 27: Typical view of front exterior wall of the front left bedroom displaying drywall cracking extending from the window header.



Photograph 28: Typical view of ceiling displaying drywall cracking.

**STRUCTURAL ASSESSMENT REPORT (SAR)
Not Suitable for Rehabilitation (NSFR)**



Photograph 29: Typical view of interior wall of the center bedroom (*adjacent to hallway*) displaying wrinkling and/or blistering paint.

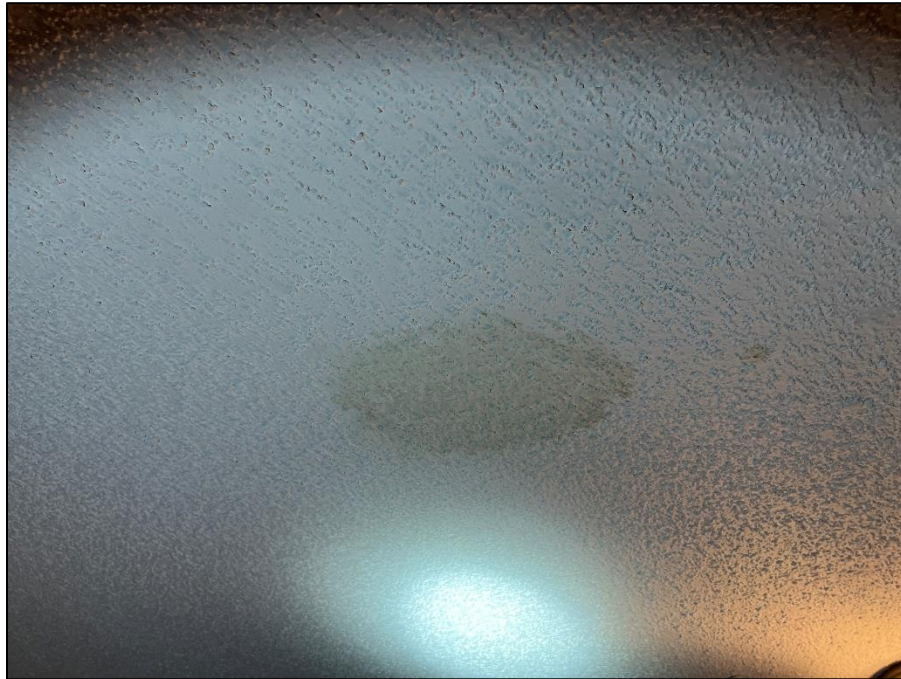


Photograph 30: Typical view of interior wall of the center bedroom (*adjacent to bedroom closet*) displaying drywall cracking extending from the door header.

STRUCTURAL ASSESSMENT REPORT (SAR) Not Suitable for Rehabilitation (NSFR)



Photograph 31: Typical view of ceiling displaying moisture staining in the center bedroom.



Photograph 32: Typical view of ceiling displaying moisture staining in the center bedroom.

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Photograph 33: Typical view of historical drywall ceiling repair.



Photograph 34: Typical view of ceiling displaying moisture staining in the living room.

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Photograph 35: Typical view of cracking within the terrazzo floor tile.



Photograph 36: Typical view of ceiling displaying moisture staining in the converted garage.

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Photograph 37: Observation of ceiling displaying nail pops within the drywall.



Photograph 38: Typical view of rear exterior wall of the laundry room displaying drywall cracking extending from the window header and windowsill.

STRUCTURAL ASSESSMENT REPORT (SAR) Not Suitable for Rehabilitation (NSFR)



Photograph 39: Observation of roof rafters that have been detached from the ridge board.



Photograph 40: Typical view of roof rafters that have been detached from the ridge board.

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Photograph 41: Overview of roof and ceiling framing within the attic space at the front left of the residence. Notice the broken roof rafter where a two-by-four was installed as temporary support. Also, notice the lack of rafter and purlin bracing within the rafters.



Photograph 42: Observation of roof decking decay indicating historical roof leaks.

STRUCTURAL ASSESSMENT REPORT (SAR) Not Suitable for Rehabilitation (NSFR)



Photograph 43: Typical view of damaged, missing, and/or torn asphalt ridge caps on roof.



Photograph 44: Typical view of aged and deteriorated asphalt shingles on roof. Most shingles lacked a viable adhesive strip that would keep the overlying shingle bonded to the underlying shingle.

STRUCTURAL ASSESSMENT REPORT (SAR) Not Suitable for Rehabilitation (NSFR)



Photograph 45: Typical view of asphalt roof shingles displaying a loss of surface granules.



Photograph 46: Typical view of damaged, missing, and/or torn asphalt shingles on roof.

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APPENDIX B

Foundation Survey



**STRUCTURAL ASSESSMENT REPORT (SAR)
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APPENDIX C

Assessor's Information

Three (3) pages



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HARRIS CENTRAL APPRAISAL DISTRICT
REAL PROPERTY ACCOUNT INFORMATION
0950650000013

Tax Year: 2024



Owner and Property Information	
Owner Name & Mailing Address: DAVIS BENNIE W WASHINGTON CHARLOTTE 11 MONTGLEN CT HOUSTON TX 77061-1022	Legal Description: LT 13 BLK 70 GLENBROOK VALLEY SEC 12 R/P Property Address: 11 MONTGLEN CT HOUSTON TX 77061

Historical Designation
This property is located in a City of Houston Historic District or is a designated Historic Landmark. Please email historicpreservation@houstontx.gov or click this link for more information.

State Class Code	Land Use Code	Land Area	Total Living Area	Neighborhood	Neighborhood Group	Market Area	Map Facet	Key Map ^A ®
A1 -- Real, Residential, Single-Family	1001 -- Residential Improved	11,689 SF	3,572 SF	8423.01	1301	132 -- 1C South of Old Spanish Trail btwn SH 288 and I-45	5654C	535T

Value Status Information		
Value Status	Notice Date	Shared CAD
Noticed	04/19/2024	No

Exemptions and Jurisdictions						
Exemption Type	Districts	Jurisdictions	Exemption Value	ARB Status	2023 Rate	2024 Rate
Residential Homestead (Multiple)	001	HOUSTON ISD	181,663	Not Certified	0.868300	
	040	HARRIS COUNTY	333,315	Not Certified	0.350070	
	041	HARRIS CO FLOOD CNTRL	333,315	Not Certified	0.031050	
	042	PORT OF HOUSTON AUTHY	333,315	Not Certified	0.005740	
	043	HARRIS CO HOSP DIST	333,315	Not Certified	0.143430	
	044	HARRIS CO EDUC DEPT	333,315	Not Certified	0.004800	
	048	HOU COMMUNITY COLLEGE	191,664	Not Certified	0.092231	
	061	CITY OF HOUSTON	326,663	Not Certified	0.519190	
	909	TIRZ 8 GULFGATE ANNEX (061)	326,663	Not Certified		
	943	HOBBY AREA DISTRICT	0	Not Certified	0.125000	



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Texas law prohibits us from displaying residential photographs, sketches, floor plans, or information indicating the age of a property owner on our website. You can inspect this information or get a copy at **HCAD's information center at 13013 NW Freeway.**

Valuations

Value as of January 1, 2023			Value as of January 1, 2024		
	Market	Appraised		Market	Appraised
Land	62,067		Land	62,067	
Improvement	271,248		Improvement	271,248	
Total	333,315	312,470	Total	333,315	333,315

Land

Market Value Land												
Line	Description	Site Code	Unit Type	Units	Size Factor	Site Factor	Appr O/R Factor	Appr O/R Reason	Total Adj	Unit Price	Adj Unit Price	Value
1	1001 -- Res Improved Table Value	SF1	SF	9,000	1.00	1.00	1.00	--	1.00	6.00	6.00	54,000.00
2	1001 -- Res Improved Table Value	SF3	SF	2,689	1.00	0.50	1.00	--	0.50	6.00	3.00	8,067.00

Building

Building	Year Built	Type	Style	Quality	Impr Sq Ft	Building Details
1	1963	Residential Single Family	Residential 1 Family	Good	3,572 *	Displayed

* All HCAD residential building measurements are done from the exterior, with individual measurements rounded to the closest foot. This measurement includes all closet space, hallways, and interior staircases. Attached garages are not included in the square footage of living area, but valued separately. Living area above *attached* garages is included in the square footage living area of the dwelling. Living area above *detached* garages is not included in the square footage living area of the dwelling but is valued separately. This method is used on all residential properties in Harris County to ensure the uniformity of square footage of living area measurements district-wide. There can be a reasonable variance between the HCAD square footage and your square footage measurement, especially if your square footage measurement was an interior measurement or an exterior measurement to the inch.

Building Details (1)

Building Data	
Element	Detail
Cond / Desir / Util	Average
Foundation Type	Slab
Grade Adjustment	B-
Heating / AC	Central Heat/AC
Physical Condition	Average
Exterior Wall	Brick / Veneer
Element	Units
Room: Total	7
Room: Rec	1

Building Areas	
Description	Area
OPEN FRAME PORCH PRI	280
BASE AREA PRI	3,572



STRUCTURAL ASSESSMENT REPORT (SAR) Not Suitable for Rehabilitation (NSFR)

Room: Half Bath	1
Room: Full Bath	2
Room: Bedroom	4
Fireplace: Masonry Firebrick	1

Extra Features

Line	Description	Quality	Condition	Units	Year Built
1	Carport - Residential	Fair	Average	462.00	1980
2	Frame Utility Shed	Fair	Average	136.00	1980
3	HOT TUB/SLB & CV	Average	Average	3.10	1963



**STRUCTURAL ASSESSMENT REPORT (SAR)
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APPENDIX D

Curriculum Vitae – CV – R. Adam Ballesteros, P.E., CFEI

Four (4) pages

STRUCTURAL ASSESSMENT REPORT (SAR) Not Suitable for Rehabilitation (NSFR)



Adam Ballesteros, P.E., CFEI
Structural Engineering Department Manager



Background

Adam Ballesteros, P.E., graduated from the University of Nevada – Las Vegas with a Bachelor of Science degree in Civil Engineering. He is a licensed Professional Engineer in Alabama, Arkansas, Florida, Louisiana, Michigan, Mississippi, Nevada, New Mexico, Oklahoma, and Texas. He is a US DOT FAA Part 107 Small Unmanned Aircraft System Remote Pilot and holds a TSA Transportation Worker Identification Credential in order to access secure areas of the nation's maritime facilities and vessels as required by the Maritime Security Act.

He has worked in the construction, energy, utility, and consulting fields since 2004 and can work independently, manage personnel, make informed decisions confidently, and solve problems efficiently while keeping others apprised of work activities. He has overseen capital projects and interacted with municipalities, owners, developers, contractors, engineers, surveyors, utility operators, and other internal/external customers to complete projects on time and budget.

In his previous municipal government roles, he has coordinated Operations and Maintenance (O&M) activities such as issuing and scheduling work assignments, reviewing key performance indicators (KPI), and worked on improvements for both horizontal and vertical assets. He has performed management of change (MOC) best practices and completed significant capital improvement projects to increase system capacity of water distribution, wastewater collection, and stormwater conveyance. He has completed over \$40 million (M) worth of projects and assisted in the planning of \$120M of additional capital projects proposed. He has successfully negotiated land purchases, partnership projects, grants, and long-term contract agreements and easements.

In addition, he has worked with Utility Operators on training to implement new systems and to address hesitant participants. However, his main objectives have always been operator safety and ensuring that building, earthen structures, water distribution, wastewater collection, and stormwater conveyance systems are compliant with state and federal regulations.

Mr. Ballesteros is a curious, problem-solving engineer with demonstrated technical and leadership skills in the public and private sectors and is an established facilitator and regulator. As a forensic engineer, he believes that communication and cooperation are imperative to successful projects; and has 15+ years of experience in forensic engineering and failure analysis founded on a strong and continuing base of analysis and design engineering.



STRUCTURAL ASSESSMENT REPORT (SAR) Not Suitable for Rehabilitation (NSFR)



Professional Engagements

Project Management

- City of Deer Park Police Gun Range - FEMA demolition and reconstruction – Deer Park, Texas (2018-2020), Responsible for the logistics and administration of complex municipal brownfield project to include design, survey, safety, change orders, submittals, design change management, daily schedule, materials coordination, inspection, closeout and reimbursement from FEMA. Also led estimator developing bids.
- City of Deer Park Police Department – Generator reconductor – Deer Park, Texas (2021), Planned, prepared, and designed Police Department generator 480VAC/wye/3 ϕ 600 kVA transfer switch to manage all building loads with existing generator and installed new generator/transfer switch at Transfer Station to ensure that staff can continue operations. Saved \$2.1M through lean EPC methods, using internal staff, and contractors.
- City of Deer Park Public Works Department – Capital Improvements – Deer Park, Texas (2018-2022), Assembled over 40 RFQ, RFP, architectural/engineering/construction contracts and presented for authorization. Budgeted, approved, and documented city engineering funds for large capital improvement projects worth over \$40M.

Disaster Recovery

- City of Deer Park – Deer Park, Texas (2018-2022), Responsible for negotiating, analyzing, and auditing FEMA and HCFCD projects related to Hurricane Harvey repairs for outfalls and engineering redesign and rebuild of berms for Police Department Gun Range (\$2.9M of projects reimbursed).
- North Dakota (2013-2018) – repair to roads, gas, water and electric facilities due to cold weather damage.

Fire/Explosive

- Various residential structures – Houston, Texas (2022), Assisted CFEI inspectors with fire investigations and evidence collection to determine the origin and cause of fires due to negligence, arson, electrical malfunctions, and weather events.
- Explosions – Natural gas explosions, natural gas pipeline explosion due to over pressurization/fittings/piping, natural gas releases, grain elevator explosion (unrelated to natural gas), and assisted Deer Park Emergency Operations Center with ITC Tank Fire (2019).

Forensic Engagements and Natural Disaster Investigations

- Hail, Wind, and Tornado investigations at multiple locations around U.S. including, Georgia, Louisiana, Texas, Pennsylvania, New Mexico, California, Nevada, Michigan, Maryland, and Florida.
- Hurricane Ian – Florida (2022), Evaluated wind/water damage to residential structures.
- Hurricane Ida – Louisiana (2022), Evaluated wind/water damage to residential structures.

Construction Accident Analysis

- Residential Structural Failure – Shreveport, Louisiana (2022), Inspected residential structural failure caused due to poor construction workmanship and unrelated to weather conditions.



STRUCTURAL ASSESSMENT REPORT (SAR) Not Suitable for Rehabilitation (NSFR)



Professional Experience

Cobalt Engineering and Inspections, LLC

2023 – Present

- Structural Engineering Department Manager
Structural Engineering of wood, steel, CMU, concrete, and ICF for residential and commercial structures.

Rimkus

2023 – 2023

- Senior Consultant
Provides consulting services for insurance, legal, and corporate clients. Responsibilities include structural damage evaluations, building envelope inspections, foundations, construction document and code compliance reviews, and water intrusion investigations. January 2023 tornado evaluations in Houston area.

McDowell Owens Engineering, Inc.

2022 – 2022

- Consulting Engineer (Civil/Structural/Dynamics/Electrical)
Investigations and analyses of structural failures. Computer modeling of structures to determine cause of failure. Structural investigations for damage due to hurricanes, tornadoes, earthquakes, floods, lightning, fires, and explosions. Projects include foundations and structures of residential, commercial, and industrial buildings; bridges; roof structures; earth retaining structures; and construction shoring. Investigations and analyses of civil projects for stormwater management and construction dewatering. Conducted joint evidence examinations. Participated in litigation for discovery document requests and review; designated expert witness; deposition review; plaintiff, defendant, and insurance claims; fire investigations; and subrogation. Summary of opinions and reports, expert witness designation contract review, plaintiff petition, discovery control plan, claims for relief, breach of contract, parties, jurisdiction and venue, facts, gross negligence, nuisance, injunctive relief, and damages.

City of Deer Park (Deer Park, Texas)

2018 – 2022

- City Engineer
Performance and management of analysis, design, and construction drawings and specs for General Obligation Bond in 2021. Projects included updating municipality buildings for HVAC and generators, public works for police and fire, field surveys, platting approvals, planning, and zoning, and infrastructure for FEMA and Hurricane Harvey repairs and outfalls. Assessed and consulted for various commercial and residential buildings; roads, bridges, and earth retaining structures; and land development projects for city capital campaigns. Mitigated flood control projects for multiple housing developments and communities in the area. Conducted and enforced plumbing, electrical, and mechanical inspections on commercial and residential structures, as well as performed permit application inspections.

City of Dickinson

2016 – 2018

- Water Utilities Manager/Senior Water Utilities Operator
Operated, programmed, and repaired city facilities for water pumping and sewer lifts. Constructed, directed, and inspected the installation of a bulk water vendor facility while managing city staff. Designed Process Hazard Analysis (PHA) studies, Process Flow Diagrams (PFDs), Piping & Instrumentation Diagrams (P&IDs) and process specifications for equipment and instruments at water and sewer facilities.

Montana – Dakota Utilities, Co.

2013 – 2016

- Gas Pipeline Engineer II
Supervised engineers and construction staff on various oil and gas projects, including replacing and installing over 55 miles of HDPE gas distribution and steel transmission piping. Delivered engineering designs in accordance with PHMSA, AGA, ASTM, ASME, ANSI, ISO 9001, and API. Developed plans and plats for easements and permitting (city, county, state, private, railroad) and solved gas calculations for various loads, cathodic protection monitoring, and pipe coating. Continuous hazard monitoring using 4-gas monitor (O₂, CO, H₂S, Methane, LELs) and SCBA fitting for hazardous environments.



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- **Marvin Davis/ZEI** **2011 – 2012**
 - Resident Engineer
Oversaw and monitored construction of 140-acre mine tailings hazmat storage pond water reservoirs. Maintained and operated equipment for facilities and oversaw pressure/temperature measurements. Certifications for OSHA 10, 40, HAZWOPPER, and MSHA safety training.

- **Southern Nevada Water Authority and Southwest Gas Corp.** **2007 – 2011**
 - Engineering Intern
Oversaw analysis of pipe materials and product failures annually. Decided outcomes on over 3,500 components and piping to identify failure mode causes and effects and discovered root-cause failures from historical data and implemented corrective actions on gas facilities. USDOT PHMSA 49CFR192 Pipeline Safety Training. Engineering intern designed structures for water supply and treatment, storm drainage, and wastewater collection and treatment. Designed irrigation systems, slope protection, and the civil portion of land development projects. Land surveying.

- **BBC/DuPont Engineering** **2004 – 2007**
 - Special Inspector
Performed testing, inspection, and reporting on over \$300M of major construction projects on commercial properties and custom residential homes built into mountain-side bedrock. Materials testing and special inspections of geotechnical, soils, concrete, steel, and other construction activities. ACI and CCI-Electrical, Mechanical, Plumbing, Concrete, Steel, Masonry, Soils, Fireproofing; GIS and AutoCAD.

Education, Certifications, Continuing Education

- **Civil Engineering, B.S.:** University of Nevada – Las Vegas (2011)
- **Accounting, M.S.:** Texas A&M University, Corpus Christi, TX, (In-Progress)
- **Registered Professional Engineer:** Alabama, Arkansas, Florida, Hawaii (pending), Louisiana, Michigan, Mississippi, Nevada, New Mexico, North Dakota (expired), Oklahoma, and Texas
- **National Association of Fire Investigators:** Certified Fire and Explosion Investigator - #27925
- **Certification International Code Council:** Residential Electrical Inspector, Certificate #10136700
- **US Citizen:** Transportation Worker Identification Credential (TWIC/TSA) and CBU US Global Entry
- **Texas Commercial Driver License Class A, Tanker Endorsement**
- **Texas State Board of Plumbing Examiners:** Plumbing Inspector License #I-3803
- **Texas Department of Licensing and Registration:** Electrician Apprentice License #565982
- **USDOT PHMSA 49CFR192 Pipeline Safety Training**
- **Criminal Justice Information Service (CJIS) Certified**
- **USA DOT FAA Airman – Remote Pilot – Small Unmanned Aircraft:** Certificate No.: 4698231
- **Memberships:** Texas Municipal League, Texas State Plumbing Board, Texas Department of Licensing and Regulation, NFPA, ICC, NAFI, and American Concrete Institute
- **American Institute of Steel Construction, NFPA / NEC, and ASTM Company Affiliation**
- **OSHA and Related Training:** Construction Safety and Health; Confined Space Entry and Fall Protection Hazards; OSHA 10, 40, and HAZWOPPER; MSHA (Mine Safety and Health Administration) New Miner Training; Annual Refresher Training, First Aid and CPR



Attachment C

Estimated Cost of

Repairs

**Provided by Texas General Land
Office – Homeowner Assistance
Program**

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

Insured: Bennie Davis
Property: 11 Montglen Ct
Houston, TX 77061

Home: (713) 501-5971

Claim Rep.: Joe Saltalamacchia
Company: Work Force Group

Business: (228) 304-5058
E-mail: joe.saltalamacchia@wfgrp.org

Estimator: Joe Saltalamacchia
Company: Work Force Group

Business: (228) 304-5058
E-mail: joe.saltalamacchia@wfgrp.org

Claim Number: COH-HOAP-19268

Policy Number: COH-HOAP-19268

Type of Loss: Hurricane Harvey

Date Contacted: 11/10/2023 4:01 PM

Date of Loss: 8/25/2017 12:00 AM

Date Received: 11/6/2023 7:52 PM

Date Inspected: 11/16/2023 11:00 AM

Date Entered: 10/29/2023 5:35 PM

Price List: TXHO8X_JUL24
Restoration/Service/Remodel

Estimate: COH-HOAP-19268_ECR

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

DAMAGE ASSESSOR'S DESCRIPTION OF HURRICANE HARVEY RELATED DAMAGE

Based on the Assessor's observation from an on-site field verification review of the dwelling, the dwelling sustained Hurricane Harvey damage from rain and wind in 2017. Hurricane Harvey damage includes items and components that were visible during the assessment including the roof, walls and ceilings. No destructive investigations or testing was performed. **Refer to the photos and descriptions of Hurricane Harvey storm damage at the dwelling on pages 3 & 4 of this report.**

HWM (High Water Mark) Determination: The HWM was determined to be 0".

PROPERTY DESCRIPTION

The house is a one story, site built, stick framed, wood structure with wood siding on a pier and beam foundation.

The home was built in 1963, which is prior to 1978.

The roof covering is asphalt-based composition shingles over a felt base sheet with galvanized flashing, fittings, and drip edge.

The electrical system was not replaced and is functional.

The HVAC system was not replaced and is not functional.

The plumbing system consists of municipal water, waste, and gas with underground service to the house and is functional.

DAMAGE DESCRIPTION ACCORDING TO THE APPLICANT

Bennie Davis was present at the listed property at the time of inspection. Applicant is currently living in the home. Applicant stated that 0" of flood water entered the first floor of the dwelling. The applicant also stated that Hurricane Harvey rain and wind caused damage to the roof, HVAC, windows, siding, drywall, and floors.

UNREPAIRED HURRICANE HARVEY DAMAGES OBSERVED BY THE ASSESSOR

The needed repairs due to Hurricane Harvey observed by the Assessor are the roof, walls and ceilings.

COMPLETED REPAIRS OBSERVED BY THE ASSESSOR

Completed repairs observed by the Assessor are spot painting. Repairs claimed in the self-certification statement that cannot be verified have been omitted from the estimate.

Contractor Completed Repairs YES

Homeowner Completed Repairs NO

Non-Profit Organization NO

PREPS NO

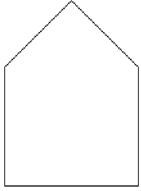
DAHLR NO

When applicable, none of the items included in the Partial Repair and Essential Power for Sheltering (PREPS) Scope of Work and/or other scopes of work, such as DALHR or non-profits groups, are included in the Repair Inspection for the City of Houston or the Damage Repair Verification Inspection for the Homeowner Assistance Program.

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

COH-HOAP-19268_ECR

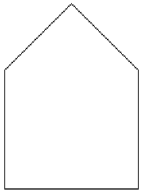


Front Elevation

Formula Elevation 28' 10" x 9' x 0"

259.50 SF Walls
 259.50 SF Long Wall
 28.83 LF Ceil. Perimeter

28.83 LF Floor Perimeter
 259.50 SF Short Wall

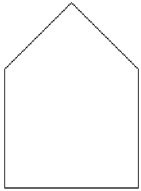


Subroom 1: Gable 1

Formula Elevation 19' 6" x 0" x 5' 8"

55.25 SF Walls
 55.25 SF Long Wall
 22.55 LF Ceil. Perimeter

19.50 LF Floor Perimeter
 55.25 SF Short Wall



Subroom 2: Gable 2

Formula Elevation 9' x 0" x 2' 6"

11.25 SF Walls
 11.25 SF Long Wall
 10.30 LF Ceil. Perimeter

9.00 LF Floor Perimeter
 11.25 SF Short Wall

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
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ECR

-----EXTERIOR-----

1a. Remove Concrete slab on grade - 4" - finished in place	125.00	SF	3.72	0.00	139.50	604.50	(0.00)	604.50
1b. Concrete slab on grade - 4" - finished in place	125.00	SF	7.59	25.99	292.42	1,267.16	(0.00)	1,267.16
TREC Item								
Concrete is cracking and/or uneven and is deemed a potential tripping hazard.								

ECR-NEW

-----CONTRACTOR ADDITIONS-----

-----SOFFIT--FASCIA--GUTTERS-----

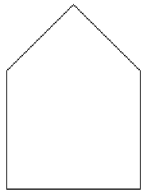
298a. Remove Soffit - wood	159.25	SF	0.41	0.00	19.58	84.87	(0.00)	84.87
298b. Soffit - wood	159.25	SF	7.46	36.26	367.28	1,591.55	(0.00)	1,591.55
Damaged fascia need to be repaired to ensure weather tight finish.								
299a. Remove Fascia - 1" x 6" - #1 pine	106.17	LF	0.44	0.00	14.02	60.73	(0.00)	60.73
299b. Fascia - 1" x 6" - #1 pine	106.17	LF	8.15	19.71	265.50	1,150.50	(0.00)	1,150.50
Damaged fascia need to be repaired to ensure weather tight finish.								

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Front Elevation

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV	
300. Prime & paint exterior fascia - wood, 6" - 8" wide	106.17	LF	3.63	2.01	116.22	503.63	(0.00)	503.63
To facilitate repairs to fascia and soffit								
301. Prime & paint exterior soffit - wood	159.25	SF	2.63	6.04	127.46	552.33	(0.00)	552.33
Damaged fascia need to be repaired to ensure weather tight finish.								
ECR Totals:			25.99	431.92	1,871.66		1,871.66	
ECR-NEW Totals:			64.02	910.06	3,943.61		3,943.61	
Totals: Front Elevation			90.01	1,341.98	5,815.27	0.00	5,815.27	

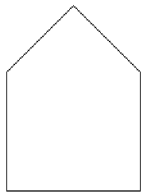


Right Elevation

Formula Elevation 55' x 9' x 0"

495.00 SF Walls
 495.00 SF Long Wall
 55.00 LF Ceil. Perimeter

55.00 LF Floor Perimeter
 495.00 SF Short Wall



Subroom 1: Gable

Formula Elevation 31' 6" x 0" x 5' 5"

85.31 SF Walls
 85.31 SF Long Wall
 33.31 LF Ceil. Perimeter

31.50 LF Floor Perimeter
 85.31 SF Short Wall

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV	
<u>ECR</u>								
-----ELECTRICAL-----								
2. Remove Breaker panel TREC Item Line item needed for rewire	1.00	EA	230.09	0.00	69.02	299.11	(0.00)	299.11
3. Breaker panel - 200 amp w/arc fault breakers TREC Item Panel does not meet current code requirements. Arc fault breakers are required.	1.00	EA	2,806.01	120.29	877.88	3,804.18	(0.00)	3,804.18
4. Remove Meter base and main disconnect TREC Item Wiring and device replacement is needed for compatibility with new arc fault breaker panel.	1.00	EA	86.31	0.00	25.90	112.21	(0.00)	112.21

Estimated Cost of Repairs

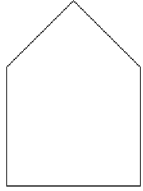
Texas General Land Office - Homeowner Assistance Program

CONTINUED - Right Elevation

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV	
5. Meter base and main disconnect - 200 amp TREC Item Wiring and device replacement is needed for compatibility with new arc fault breaker panel.	1.00	EA	688.95	21.35	213.08	923.38	(0.00)	923.38
6a. Remove Meter mast for overhead power - 2" conduit	1.00	EA	115.05	0.00	34.52	149.57	(0.00)	149.57
6b. Meter mast for overhead power - 2" conduit TREC Item Wiring and device replacement is needed for compatibility with new arc fault breaker panel.	1.00	EA	773.59	17.87	237.44	1,028.90	(0.00)	1,028.90
7. Rigid conduit, 1"	40.00	LF	18.51	21.02	228.42	989.84	(0.00)	989.84
ECR-NEW								
-----CONTRACTOR ADDITIONS-----								
-----SOFFIT--FASCIA--GUTTERS-----								
302a. Remove Soffit - wood	72.00	SF	0.41	0.00	8.86	38.38	(0.00)	38.38
302b. Soffit - wood	72.00	SF	7.46	16.39	166.06	719.57	(0.00)	719.57
Damaged fascia need to be repaired to ensure weather tight finish.								
303a. Remove Fascia - 1" x 6" - #1 pine	36.00	LF	0.44	0.00	4.76	20.60	(0.00)	20.60
303b. Fascia - 1" x 6" - #1 pine	36.00	LF	8.15	6.68	90.02	390.10	(0.00)	390.10
Damaged fascia need to be repaired to ensure weather tight finish.								
304. Prime & paint exterior fascia - wood, 6" - 8" wide	36.00	LF	3.63	0.68	39.40	170.76	(0.00)	170.76
To facilitate repairs to fascia and soffit								
305. Prime & paint exterior soffit - wood	72.00	SF	2.63	2.73	57.62	249.71	(0.00)	249.71
To facilitate repairs to fascia and soffit								
-----SIDING-----								
306. Remove Siding - beveled - pine or equal (clapboard)	85.31	SF	0.56	0.00	14.34	62.11	(0.00)	62.11
Wood siding needs to be replaced for weather tight exterior.								
307a. Remove House wrap (air/moisture barrier)	85.31	SF	0.06	0.00	1.54	6.66	(0.00)	6.66
307b. House wrap (air/moisture barrier)	85.31	SF	0.39	1.34	10.38	44.99	(0.00)	44.99
Facilitate repairs to siding								
308. Fiber cement lap siding - 8"	85.31	SF	5.78	18.51	153.48	665.08	(0.00)	665.08
Replacing wood sing that is damaged.								
309. Exterior - paint two coats	85.31	SF	1.39	2.81	36.42	157.81	(0.00)	157.81
Required for weather tight exterior								
ECR Totals:			180.53	1686.26	7,307.19			7,307.19
ECR-NEW Totals:			49.14	582.88	2,525.77			2,525.77
Totals: Right Elevation			229.67	2,269.14	9,832.96	0.00		9,832.96

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program



Rear Elevation

Formula Elevation 28' 10" x 9' x 0"

259.50 SF Walls
 259.50 SF Long Wall
 28.83 LF Ceil. Perimeter

28.83 LF Floor Perimeter
 259.50 SF Short Wall

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
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DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
<u>ECR</u>							
-----EXTERIOR-----							
8. Remove Siding - beveled - pine or equal (clapboard)	259.50	SF	0.56	0.00	43.60	188.92	(0.00) 188.92
9a. Remove House wrap (air/moisture barrier)	259.50	SF	0.06	0.00	4.68	20.25	(0.00) 20.25
9b. House wrap (air/moisture barrier) Siding has damage beyond four vertical feet.	259.50	SF	0.39	4.07	31.58	136.86	(0.00) 136.86
10. Fiber cement lap siding - 8" Siding has damage beyond four vertical feet.	259.50	SF	5.78	56.31	466.88	2,023.10	(0.00) 2,023.10
11. Exterior - paint two coats Siding has damage beyond four vertical feet.	259.50	SF	1.39	8.56	110.78	480.05	(0.00) 480.05
-----DOORS & WINDOWS-----							
12. Remove Ornamental iron - Security door	1.00	EA	23.19	0.00	6.96	30.15	(0.00) 30.15
13a. Remove Exterior door - metal - insulated - flush or panel style	2.00	EA	28.22	0.00	16.94	73.38	(0.00) 73.38
13b. Exterior door - metal - insulated - flush or panel style Damage to door	2.00	EA	496.93	64.08	317.38	1,375.32	(0.00) 1,375.32
14. Door lockset & deadbolt - exterior Damage to door	2.00	EA	88.04	9.50	55.68	241.26	(0.00) 241.26
15. Paint door slab only - 2 coats (per side) Damage to door	4.00	EA	44.34	2.91	54.08	234.35	(0.00) 234.35
16. Paint door/window trim & jamb - 2 coats (per side) Damage to door	4.00	EA	37.55	1.83	45.60	197.63	<0.00> 197.63

ECR-NEW

-----CONTRACTOR ADDITIONS-----

-----EXTERIOR-----

325. Remove Spa - self contained above ground - 3 person	1.00	EA	237.41	0.00	71.22	308.63	(0.00) 308.63
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TREC Item - Jacuzzi spa and covered patio is a safety hazard. Wood is deteriorated and rotten due to not being treated. Spa does not work and is filed with rodents.

323. Remove Stud wall - 2" x 4" - 16" oc	128.00	SF	0.28	0.00	10.76	46.60	(0.00) 46.60
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TREC Item - Jacuzzi spa and covered patio is a safety hazard. Wood is deteriorated and rotten due to not being treated.

-----SOFFIT--FASCIA--GUTTERS-----

319a. Remove Soffit - wood	192.00	SF	0.41	0.00	23.62	102.34	(0.00) 102.34
319b. Soffit - wood	192.00	SF	7.46	43.72	442.82	1,918.86	(0.00) 1,918.86

Damaged fascia need to be repaired to ensure weather tight finish.

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Rear Elevation

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV	
320a. Remove Fascia - 1" x 6" - #1 pine	96.00	LF	0.44	0.00	12.68	54.92	(0.00)	54.92
320b. Fascia - 1" x 6" - #1 pine	96.00	LF	8.15	17.82	240.06	1,040.28	(0.00)	1,040.28
Damaged fascia need to be repaired to ensure weather tight finish.								
321. Prime & paint exterior fascia - wood, 6"- 8" wide	96.00	LF	3.63	1.82	105.08	455.38	(0.00)	455.38
To facilitate repairs to fascia and soffit								
322. Prime & paint exterior soffit - wood	192.00	SF	2.63	7.29	153.66	665.91	(0.00)	665.91
To facilitate repairs to fascia and soffit								
-----DOORS & WINDOWS-----								
310a. Remove Vinyl window - double hung, 13-19 sf	2.00	EA	29.73	0.00	17.84	77.30	(0.00)	77.30
310b. Vinyl window - double hung, 13-19 sf	2.00	EA	427.14	54.75	272.70	1,181.73	(0.00)	1,181.73
TREC item- single pain window does not meet current energy code.								
312. Add. charge for a retrofit window, 12-23 sf - difficult	2.00	EA	274.59	5.52	166.42	721.12	(0.00)	721.12
<i>Includes: Additional screws, shims, caulking, trim, and additional labor to install a window in an opening with an existing exterior finish. Excludes: Removal/repair of drywall, removal/repair of exterior finish, resizing of opening, and painting. Note: Additional charge accounts for retrofit installation methods that differ from new construction, or similar type, installations.</i>								

313a. Remove Vinyl window - double hung, 9-12 sf	2.00	EA	29.73	0.00	17.84	77.30	(0.00)	77.30
313b. Vinyl window - double hung, 9-12 sf	2.00	EA	373.00	47.89	238.16	1,032.05	(0.00)	1,032.05
TREC item- single pain window does not meet current energy code.								
314. Add. charge for a retrofit window, 3-11 sf - difficult	2.00	EA	198.19	3.23	119.88	519.49	(0.00)	519.49
<i>Includes: Additional screws, shims, caulking, trim, and additional labor to install a window in an opening with an existing exterior finish. Excludes: Removal/repair of drywall, removal/repair of exterior finish, resizing of opening, and painting. Note: Additional charge accounts for retrofit installation methods that differ from new construction, or similar type, installations.</i>								

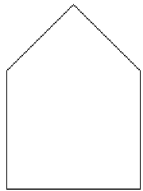
315a. Remove Window stool & apron	12.00	LF	1.22	0.00	4.40	19.04	(0.00)	19.04
315b. Window stool & apron	12.00	LF	11.54	3.72	42.66	184.86	(0.00)	184.86
To facilitate replacement of windows								
316. Seal & paint window stool and apron	12.00	LF	4.93	0.33	17.84	77.33	<0.00>	77.33
To facilitate replacement of windows								
317a. Remove Window stool & apron	6.00	LF	1.22	0.00	2.20	9.52	(0.00)	9.52
317b. Window stool & apron	6.00	LF	11.54	1.86	21.34	92.44	(0.00)	92.44
To facilitate replacement of windows								
318. Seal & paint window stool and apron	6.00	LF	4.93	0.16	8.92	38.66	<0.00>	38.66
To facilitate replacement of windows								
ECR Totals:				147.26	1154.16	5,001.27		5,001.27
ECR-NEW Totals:				188.11	1990.10	8,623.76		8,623.76

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Rear Elevation

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
Totals: Rear Elevation			335.37	3,144.26	13,625.03	0.00	13,625.03



Left Elevation

495.00 SF Walls
 495.00 SF Long Wall
 55.00 LF Ceil. Perimeter

Formula Elevation 55' x 9' x 0"

55.00 LF Floor Perimeter
 495.00 SF Short Wall

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
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ECR-NEW

-----CONTRACTOR ADDITIONS-----

-----SOFFIT--FASCIA--GUTTERS-----

327a. Remove Soffit - wood	104.33	SF	0.41	0.00	12.84	55.62	(0.00)	55.62
327b. Soffit - wood	104.33	SF	7.46	23.76	240.62	1,042.68	(0.00)	1,042.68
328a. Remove Fascia - 1" x 6" - #1 pine	52.17	LF	0.44	0.00	6.88	29.83	(0.00)	29.83
328b. Fascia - 1" x 6" - #1 pine	52.17	LF	8.15	9.68	130.46	565.33	(0.00)	565.33
329. Prime & paint exterior fascia - wood, 6" - 8" wide	104.33	LF	3.63	1.98	114.22	494.92	(0.00)	494.92
330. Prime & paint exterior soffit - wood	52.17	SF	2.63	1.98	41.76	180.95	(0.00)	180.95

-----SIDING-----

335. Remove Siding - beveled - pine or equal (clapboard) Wood siding needs to be replaced for weather tight exterior.	85.31	SF	0.56	0.00	14.34	62.11	(0.00)	62.11
336a. Remove House wrap (air/moisture barrier)	85.31	SF	0.06	0.00	1.54	6.66	(0.00)	6.66
336b. House wrap (air/moisture barrier) Facilitate repairs to siding	85.31	SF	0.39	1.34	10.38	44.99	(0.00)	44.99
337. Fiber cement lap siding - 8" Replacing wood sing that is damaged.	85.31	SF	5.78	18.51	153.48	665.08	(0.00)	665.08
338. Exterior - paint two coats Required for weather tight exterior	85.31	SF	1.39	2.81	36.42	157.81	(0.00)	157.81

-----DOORS & WINDOWS-----

331a. Remove Vinyl window - double hung, 9-12 sf	2.00	EA	29.73	0.00	17.84	77.30	(0.00)	77.30
331b. Vinyl window - double hung, 9-12 sf TREC item- single pain window does not meet current energy code.	2.00	EA	373.00	47.89	238.16	1,032.05	(0.00)	1,032.05

Estimated Cost of Repairs

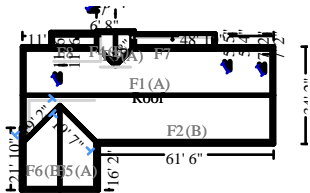
Texas General Land Office - Homeowner Assistance Program

CONTINUED - Left Elevation

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
332. Add. charge for a retrofit window, 3-11 sf - difficult	2.00 EA	198.19	3.23	119.88	519.49	(0.00)	519.49
<i>Includes: Additional screws, shims, caulking, trim, and additional labor to install a window in an opening with an existing exterior finish. Excludes: Removal/repair of drywall, removal/repair of exterior finish, resizing of opening, and painting. Note: Additional charge accounts for retrofit installation methods that differ from new construction, or similar type, installations.</i>							

333a. Remove Window stool & apron	6.00 LF	1.22	0.00	2.20	9.52	(0.00)	9.52
333b. Window stool & apron	6.00 LF	11.54	1.86	21.34	92.44	(0.00)	92.44
To facilitate replacement of windows							
334. Seal & paint window stool and apron	6.00 LF	4.93	0.16	8.92	38.66	<0.00>	38.66
To facilitate replacement of windows							
ECR-NEW Totals:			113.20	1171.28	5,075.44		5,075.44
Totals: Left Elevation			113.20	1,171.28	5,075.44	0.00	5,075.44

Roof



Roof

3966.10 Surface Area
342.14 Total Perimeter Length

39.66 Number of Squares
130.00 Total Ridge Length

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
ECR							
-----ROOFING-----							
17. Remove 3 tab - 25 yr. - composition shingle roofing - incl. felt Roof shingles are damaged, lifting, and/or missing.	39.66 SQ	70.05	0.00	833.46	3,611.64	(0.00)	3,611.64
18. 3 tab - 25 yr. - composition shingle roofing - incl. felt Roof shingles are damaged, lifting, and/or missing.	45.67 SQ	273.14	436.38	3,873.22	16,783.90	(0.00)	16,783.90
19. Asphalt starter - universal starter course Roof shingles are damaged, lifting, and/or missing.	342.14 LF	2.06	14.68	215.84	935.33	(0.00)	935.33
20a. Remove Flashing - pipe jack	3.00 EA	9.27	0.00	8.34	36.15	(0.00)	36.15
20b. Flashing - pipe jack Roof shingles are damaged, lifting, and/or missing.	3.00 EA	54.18	4.66	50.16	217.36	(0.00)	217.36

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Roof

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV	
21a. Remove Ridge cap - composition shingles	130.00	LF	3.03	0.00	118.18	512.08	(0.00)	512.08
21b. Ridge cap - composition shingles	130.00	LF	4.69	13.94	187.10	810.74	(0.00)	810.74
Roof shingles are damaged, lifting, and/or missing.								
22a. Remove Drip edge	342.14	LF	0.43	0.00	44.14	191.26	(0.00)	191.26
22b. Drip edge	342.14	LF	2.92	32.74	309.54	1,341.33	(0.00)	1,341.33
Roof shingles are damaged, lifting, and/or missing.								
23a. Remove Valley metal	74.47	LF	0.77	0.00	17.20	74.54	(0.00)	74.54
23b. Valley metal	74.47	LF	6.46	15.54	148.98	645.60	(0.00)	645.60
Roof shingles are damaged, lifting, and/or missing.								
24a. Remove Exhaust cap - through roof - up to 4"	1.00	EA	11.84	0.00	3.56	15.40	(0.00)	15.40
24b. Exhaust cap - through roof - up to 4"	1.00	EA	96.36	3.28	29.88	129.52	(0.00)	129.52
Roof shingles are damaged, lifting, and/or missing.								
25a. Remove Exhaust cap - through roof - 6" to 8"	1.00	EA	11.84	0.00	3.56	15.40	(0.00)	15.40
25b. Exhaust cap - through roof - 6" to 8"	1.00	EA	108.01	4.25	33.68	145.94	(0.00)	145.94
Roof shingles are damaged, lifting, and/or missing.								
26a. Remove Roof vent - turbine type	2.00	EA	11.84	0.00	7.10	30.78	(0.00)	30.78
26b. Roof vent - turbine type	2.00	EA	159.55	17.00	100.84	436.94	(0.00)	436.94
Roof shingles are damaged, lifting, and/or missing.								
ECR Totals:			542.47		5984.78	25,933.91		25,933.91
Totals: Roof			542.47		5,984.78	25,933.91	0.00	25,933.91
Area ECR Total:			542.47		5,984.78	25,933.91		25,933.91
Totals: Roof			542.47		5,984.78	25,933.91	0.00	25,933.91

Level 1

Level 1

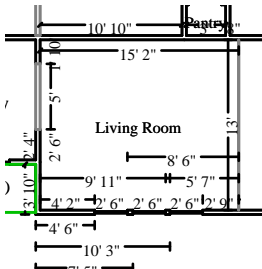
DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV	
<u>ECR</u>								
-----GENERAL ITEMS-----								
27. Final cleaning - construction - Residential	2749.11	SF	0.33	97.29	272.16	1,276.66	(0.00)	1,276.66
28. Extermination / Pest Control	1.00	EA	531.25	56.98	159.38	747.61	(0.00)	747.61
29. Sewer/drain line camera w/ operator	1.00	EA	300.00	0.00	90.00	390.00	(0.00)	390.00
30. Dumpster load - Approx. 40 yards, 7-8 tons of debris	1.00	EA	751.68	0.00	225.50	977.18	(0.00)	977.18
-----INSULATION-----								

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Level 1

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV	
31. Blown-in insulation - 12" depth - R30	2767.09	SF	1.52	251.11	1,337.14	5,794.23	(0.00)	5,794.23
ECR-NEW								
-----CONTRACTOR ADDITIONS-----								
32. Stairway - disappearing (folding) / attic access ladder	1.00	EA	399.25	17.47	125.02	541.74	(0.00)	541.74
Wiring not up to TREC standards								
33. Paint disappearing (folding) stairway/attic access ladder	1.00	EA	189.62	0.51	57.04	247.17	(0.00)	247.17
Wiring not up to TREC standards								
412. Rewire\wire - avg. residence - boxes & wiring	2749.11	SF	5.18	154.22	4,318.38	18,712.99	(0.00)	18,712.99
Wiring not up to TREC standards								
ECR Totals:			405.38	2084.18	9,185.68		9,185.68	
ECR-NEW Totals:			172.20	4500.44	19,501.90		19,501.90	
Total: Level 1			577.58	6,584.62	28,687.58	0.00	28,687.58	



Living Room

Height: 8'

313.33 SF Walls	197.17 SF Ceiling
510.50 SF Walls & Ceiling	197.17 SF Floor
21.91 SY Flooring	38.33 LF Floor Perimeter
43.33 LF Ceil. Perimeter	

Missing Wall - Goes to Floor

5' X 6' 8"

Opens into FOYER_ENTRY

Missing Wall

13' X 8'

Opens into DINING_ROOM

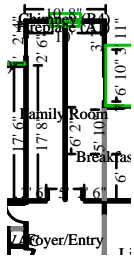
DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV	
ECR								
-----WALLS & CEILINGS-----								
34. 1/2" drywall - hung, taped, floated, ready for paint	38.33	SF	3.34	1.99	39.00	169.01	(0.00)	169.01
Line item needed for rewire								
35. Seal/prime then paint the walls and ceiling twice (3 coats)	510.50	SF	1.54	13.48	239.90	1,039.55	(0.00)	1,039.55
Line item needed for rewire								
-----ELECTRICAL-----								
36. Detach & Reset Ceiling fan & light	1.00	EA	264.94	0.00	79.48	344.42	(0.00)	344.42
Line item needed for rewire								

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Living Room

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
ECR Totals:			15.47	358.38	1,552.98		1,552.98
Totals: Living Room			15.47	358.38	1,552.98	0.00	1,552.98



Family Room

Height: Peaked

492.79 SF Walls	251.31 SF Ceiling
744.10 SF Walls & Ceiling	233.33 SF Floor
25.93 SY Flooring	60.67 LF Floor Perimeter
68.21 LF Ceil. Perimeter	

Missing Wall - Goes to neither Floor/Ceiling 5' 10" X 3' 6 1/4"

Opens into BREAKFAST_AR

Missing Wall - Goes to Floor 6' X 6' 8"

Opens into BREAKFAST_AR

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
ECR							
-----WALLS & CEILINGS-----							
37. Remove Paneling Damage to paneling	492.79	SF	0.41	0.00	60.62	262.66	(0.00) 262.66
38. 1/2" drywall - hung, taped, floated, ready for paint Damage to drywall TREC ITEM	492.79	SF	3.34	25.61	501.46	2,172.99	(0.00) 2,172.99
39. Apply anti-microbial agent to more than the walls Damage to drywall TREC Item	530.79	SF	0.31	20.08	50.02	234.64	(0.00) 234.64
40a. Remove 1/2" drywall - hung, taped, floated, ready for paint	38.00	SF	0.55	0.00	6.28	27.18	(0.00) 27.18
40b. 1/2" drywall - hung, taped, floated, ready for paint Damage to drywall TREC ITEM	38.00	SF	3.34	1.98	38.68	167.58	(0.00) 167.58
41. Texture drywall - light hand texture	38.00	SF	1.34	0.22	15.34	66.48	<0.00> 66.48
42. Seal/prime then paint the walls and ceiling twice (3 coats) Damage to drywall TREC ITEM	744.10	SF	1.54	19.64	349.68	1,515.23	(0.00) 1,515.23
43a. Remove Baseboard - 3 1/4"	60.67	LF	0.61	0.00	11.10	48.11	(0.00) 48.11
43b. Baseboard - 3 1/4"	60.67	LF	4.31	9.46	81.28	352.23	(0.00) 352.23
44. Base shoe	60.67	LF	1.85	3.85	34.84	150.93	(0.00) 150.93

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Family Room

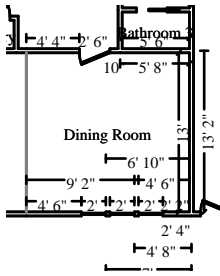
DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV	
45. Seal & paint baseboard w/cap &/or shoe - two coats	60.67	LF	2.13	1.40	39.18	169.81	(0.00)	169.81
-----FLOORING-----								
46. Remove Vinyl tile Flooring is damaged and will not meet TREC and HQS requirements.	233.33	SF	1.50	0.00	105.00	455.00	<0.00>	455.00
47. Vinyl floor covering (sheet goods) Flooring is damaged and will not meet TREC and HQS requirements. 10 % waste added for Vinyl floor covering (sheet goods).	256.67	SF	3.63	42.99	292.42	1,267.12	(0.00)	1,267.12
48. Floor preparation for resilient flooring Flooring is damaged and will not meet TREC and HQS requirements.	233.33	SF	0.71	1.92	50.28	217.86	(0.00)	217.86
-----HVAC-----								
49a. Remove Cold air return cover	2.00	EA	8.28	0.00	4.96	21.52	(0.00)	21.52
49b. Cold air return cover	2.00	EA	32.66	2.54	20.36	88.22	(0.00)	88.22
-----ELECTRICAL-----								
50. Detach & Reset Ceiling fan & light Line item needed for rewire	2.00	EA	264.94	0.00	158.96	688.84	(0.00)	688.84
ECR-NEW								
-----CONTRACTOR ADDITIONS-----								
-----WALLS & CEILINGS-----								
339. Apply anti-microbial agent to more than the walls Crediting to adjust quantity	530.79	SF	-0.31	-20.08	-50.02	-234.64	(0.00)	-234.64
342. Apply anti-microbial agent to more than the walls Ceiling getting replaced due to water intrusion.	744.10	SF	0.31	28.13	70.12	328.92	(0.00)	328.92
340a. Remove 1/2" drywall - hung, taped, floated, ready for paint	38.00	SF	-0.55	0.00	-6.28	-27.18	(0.00)	-27.18
340b. 1/2" drywall - hung, taped, floated, ready for paint Crediting to adjust quantity	38.00	SF	-3.34	-1.98	-38.68	-167.58	(0.00)	-167.58
TREC ITEM								
343a. Remove 1/2" drywall - hung, taped, floated, ready for paint	744.10	SF	0.55	0.00	122.78	532.04	(0.00)	532.04
343b. 1/2" drywall - hung, taped, floated, ready for paint Ceiling being replaced due to water intrusion	744.10	SF	3.34	38.67	757.18	3,281.14	(0.00)	3,281.14
341. Texture drywall - light hand texture Crediting due to entire ceiling being replaced	38.00	SF	-1.34	-0.22	-15.34	-66.48	<0.00>	-66.48
-----FLOORING-----								
373. Vinyl floor covering (sheet goods) Crediting to replace flooring with LVP per program policy	256.67	SF	-3.63	-42.99	-292.42	-1,267.12	(0.00)	-1,267.12
374. Vinyl plank flooring - Standard grade	233.33	SF	5.51	39.65	397.60	1,722.90	(0.00)	1,722.90

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Family Room

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
Flooring is damaged and will not meet TREC and HQS requirements.							
ELECTRICAL							
344. Detach & Reset Chandelier - Standard grade Line item needed for rewire	1.00 EA	193.40	0.00	58.02	251.42	(0.00)	251.42
ECR Totals:			129.69	1820.46	7,906.40		7,906.40
ECR-NEW Totals:			41.18	1002.96	4,353.42		4,353.42
Totals: Family Room			170.87	2,823.42	12,259.82	0.00	12,259.82



Dining Room

Height: 8'

317.33 SF Walls	173.33 SF Ceiling
490.67 SF Walls & Ceiling	173.33 SF Floor
19.26 SY Flooring	39.67 LF Floor Perimeter
39.67 LF Ceil. Perimeter	

Missing Wall

13' X 8'

Opens into LIVING_ROOM

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
ECR							
WALLS & CEILINGS							
51. 1/2" drywall - hung, taped, floated, ready for paint Line item needed for rewire	39.67 SF	3.34	2.06	40.38	174.94	(0.00)	174.94
52. Seal/prime then paint the walls and ceiling twice (3 coats) Line item needed for rewire	490.67 SF	1.54	12.95	230.56	999.14	(0.00)	999.14
ELECTRICAL							
53. Detach & Reset Light fixture Line item needed for rewire	1.00 EA	74.39	0.00	22.32	96.71	(0.00)	96.71

ECR-NEW

CONTRACTOR ADDITIONS

ELECTRICAL

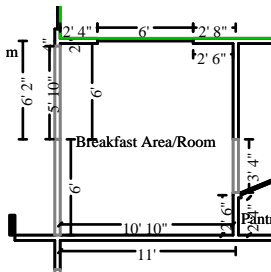
346. Detach & Reset Light fixture Cresting to adjust type of light fixture.	1.00 EA	-74.39	0.00	-22.32	-96.71	(0.00)	-96.71
345. Detach & Reset Chandelier - Standard grade Line item needed for rewire	1.00 EA	193.40	0.00	58.02	251.42	(0.00)	251.42

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Dining Room

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
ECR Totals:			15.01	293.26	1,270.79		1,270.79
ECR-NEW Totals:			0.00	35.70	154.71		154.71
Totals: Dining Room			15.01	328.96	1,425.50	0.00	1,425.50



Breakfast Area/Room

Height: 8'

278.13 SF Walls	130.00 SF Ceiling
408.13 SF Walls & Ceiling	130.00 SF Floor
14.44 SY Flooring	36.33 LF Floor Perimeter
42.33 LF Ceil. Perimeter	

- Missing Wall - Goes to neither Floor/Ceiling 5' 10" X 3' 6 1/4"
- Missing Wall - Goes to Floor 6' X 6' 8"
- Missing Wall 3' 4" X 8"

- Opens into FAMILY_ROOM
- Opens into FAMILY_ROOM
- Opens into KITCHEN

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
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ECR								
-----WALLS & CEILINGS-----								
54. 1/2" drywall - hung, taped, floated, ready for paint	36.33	SF	3.34	1.89	36.96	160.19	(0.00)	160.19
Line item needed for rewire								
55. Seal/prime then paint the walls and ceiling twice (3 coats)	408.13	SF	1.54	10.77	191.80	831.09	(0.00)	831.09
Line item needed for rewire								
-----ELECTRICAL-----								
56. Detach & Reset Light fixture	1.00	EA	74.39	0.00	22.32	96.71	(0.00)	96.71
Line item needed for rewire								

ECR-NEW

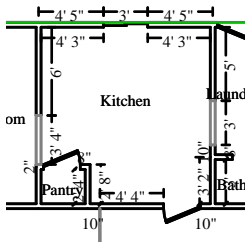
-----CONTRACTOR ADDITIONS-----								
-----FLOORING-----								
347. Remove Vinyl tile	130.00	SF	1.50	0.00	58.50	253.50	<0.00>	253.50
Flooring is damaged and will not meet TREC and HQS requirements.								
375. Vinyl plank flooring - Standard grade	130.00	SF	5.51	22.09	221.52	959.91	(0.00)	959.91
Flooring is damaged and will not meet TREC and HQS requirements.								
349. Floor preparation for resilient flooring	130.00	SF	0.71	1.07	28.02	121.39	(0.00)	121.39
Flooring is damaged and will not meet TREC and HQS requirements.								

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Breakfast Area/Room

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
ECR Totals:			12.66	251.08	1,087.99		1,087.99
ECR-NEW Totals:			23.16	308.04	1,334.80		1,334.80
Totals: Breakfast Area/Room			35.82	559.12	2,422.79	0.00	2,422.79



Kitchen

Height: 8'

329.33 SF Walls	129.11 SF Ceiling
458.44 SF Walls & Ceiling	129.11 SF Floor
14.35 SY Flooring	40.67 LF Floor Perimeter
43.67 LF Ceil. Perimeter	

Missing Wall

3' 4" X 8'

Opens into BREAKFAST_AR

Missing Wall - Goes to Floor

3' X 6' 8"

Opens into LAUNDRY_ROOM

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
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ECR

-----APPLIANCES-----

57a. Remove Refrigerator - top freezer - 18 to 22 cf	1.00 EA	43.89	0.00	13.16	57.05	(0.00)	57.05
57b. Refrigerator - top freezer - 18 to 22 cf	1.00 EA	928.11	74.25	300.72	1,303.08	(0.00)	1,303.08
Appliance has damage and/or is not operational.							
58. Range hood	1.00 EA	268.87	12.21	84.32	365.40	<0.00>	365.40
Missing Hood							
59a. Remove Cooktop - gas	1.00 EA	34.06	0.00	10.22	44.28	(0.00)	44.28
59b. Cooktop - gas	1.00 EA	767.20	51.97	245.76	1,064.93	(0.00)	1,064.93
60a. Remove Dishwasher	1.00 EA	35.28	0.00	10.58	45.86	(0.00)	45.86
60b. Dishwasher	1.00 EA	694.09	44.06	221.44	959.59	(0.00)	959.59
Appliance has damage and/or is not operational.							

-----CABINETRY-----

61a. Remove Cabinetry - lower (base) units	9.50 LF	9.88	0.00	28.16	122.02	(0.00)	122.02
61b. Cabinetry - lower (base) units	9.50 LF	256.80	162.97	780.78	3,383.35	(0.00)	3,383.35
Cabinets have damage on the inside and/or outside.							
62. Detach & Reset Countertop - post formed plastic laminate	9.50 LF	23.53	0.18	67.12	290.84	(0.00)	290.84
63a. Remove Cabinetry - upper (wall) units	9.50 LF	9.88	0.00	28.16	122.02	(0.00)	122.02
63b. Cabinetry - upper (wall) units	9.50 LF	172.99	97.28	522.20	2,262.89	(0.00)	2,262.89
Cabinets have damage on the inside and/or outside.							

-----WALLS & CEILINGS-----

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Kitchen

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV	
64. Apply anti-microbial agent to the surface area Damage to drywall TREC Item	38.00	SF	0.31	1.45	3.58	16.81	(0.00)	16.81
65a. Remove 1/2" water rock (greenboard) hung, taped ready for texture	38.00	SF	0.55	0.00	6.28	27.18	(0.00)	27.18
65b. 1/2" water rock (greenboard) hung, taped ready for texture Damage to drywall TREC ITEM TREC ITEM HQS	38.00	SF	3.03	2.23	35.20	152.57	(0.00)	152.57
66. Texture drywall - light hand texture	38.00	SF	1.34	0.22	15.34	66.48	<0.00>	66.48
67. Seal/prime then paint the walls and ceiling twice (3 coats) Damage to drywall TREC ITEM	458.44	SF	1.54	12.10	215.44	933.54	(0.00)	933.54
68a. Remove Baseboard - 3 1/4"	40.67	LF	0.61	0.00	7.44	32.25	(0.00)	32.25
68b. Baseboard - 3 1/4"	40.67	LF	4.31	6.34	54.48	236.11	(0.00)	236.11
69. Base shoe	40.67	LF	1.85	2.58	23.36	101.18	(0.00)	101.18
70. Seal & paint baseboard w/cap &/or shoe - two coats	40.67	LF	2.13	0.94	26.26	113.83	(0.00)	113.83
-----PLUMBING-----								
71. Dishwasher connection Plumbing fixture is damaged and/or rusting.	1.00	EA	172.91	2.95	52.76	228.62	(0.00)	228.62
72. Sink - double Plumbing fixture is damaged and/or rusting.	1.00	EA	420.17	22.83	132.90	575.90	(0.00)	575.90
73. Sink faucet - Kitchen Plumbing fixture is damaged and/or rusting.	1.00	EA	290.50	16.04	91.98	398.52	(0.00)	398.52
74. P-trap assembly - ABS (plastic) Plumbing fixture is damaged and/or rusting.	1.00	EA	75.31	0.69	22.80	98.80	(0.00)	98.80
75. Sink strainer and drain assembly Plumbing fixture is damaged and/or rusting.	2.00	EA	58.12	3.23	35.84	155.31	(0.00)	155.31
76. Angle stop valve Plumbing fixture is damaged and/or rusting.	2.00	EA	45.96	2.06	28.20	122.18	(0.00)	122.18
-----FLOORING-----								
77. Remove Vinyl floor covering (sheet goods) Flooring is damaged and will not meet TREC and HQS requirements.	129.11	SF	1.21	0.00	46.86	203.08	(0.00)	203.08
78. Floor preparation for resilient flooring Flooring is damaged and will not meet TREC and HQS requirements.	129.11	SF	0.71	1.07	27.82	120.56	(0.00)	120.56
79. Vinyl floor covering (sheet goods) Flooring is damaged and will not meet TREC and HQS requirements. 10 % waste added for Vinyl floor covering (sheet goods).	142.02	SF	3.63	23.78	161.80	701.11	(0.00)	701.11
-----HVAC-----								

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Kitchen

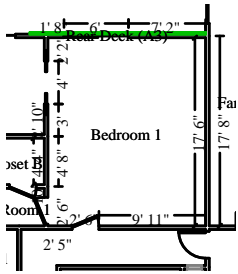
DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV	
80a. Remove Cold air return cover	1.00	EA	8.28	0.00	2.48	10.76	(0.00)	10.76
80b. Cold air return cover	1.00	EA	32.66	1.27	10.18	44.11	(0.00)	44.11
-----ELECTRICAL-----								
81a. Remove Light fixture	1.00	EA	10.97	0.00	3.30	14.27	(0.00)	14.27
81b. Light fixture	1.00	EA	85.85	2.72	26.58	115.15	(0.00)	115.15
Missing fixture cover								
82. Combination CO/Smoke detector	1.00	EA	119.56	5.92	37.64	163.12	(0.00)	163.12
TREC Item								
-----FLOORING-----								
<u>ECR-NEW</u>								
-----CONTRACTOR ADDITIONS-----								
-----WALLS & CEILINGS-----								
356. 1/2" drywall - hung, taped, floated, ready for paint	40.67	SF	3.34	2.11	41.40	179.35	(0.00)	179.35
Line item needed for rewire								
-----CABINETRY-----								
350a. Remove Cabinetry - lower (base) units	9.50	LF	-9.88	0.00	-28.16	-122.02	(0.00)	-122.02
350b. Cabinetry - lower (base) units	9.50	LF	-256.80	-162.97	-780.78	-3,383.35	(0.00)	-3,383.35
Crediting to adjust quantity								
353a. Remove Cabinetry - lower (base) units	15.50	LF	9.88	0.00	45.94	199.08	(0.00)	199.08
353b. Cabinetry - lower (base) units	15.50	LF	256.80	265.89	1,273.88	5,520.17	(0.00)	5,520.17
Cabinets have damage on the inside and/or outside.								
351. Detach & Reset Countertop - post formed plastic laminate	9.50	LF	-23.53	-0.18	-67.12	-290.84	(0.00)	-290.84
Crediting to adjust quantity								
354. Detach & Reset Countertop - post formed plastic laminate	12.50	LF	23.53	0.24	88.32	382.69	(0.00)	382.69
To facilitate repairs to cabinets								
352a. Remove Cabinetry - upper (wall) units	9.50	LF	-9.88	0.00	-28.16	-122.02	(0.00)	-122.02
352b. Cabinetry - upper (wall) units	9.50	LF	-172.99	-97.28	-522.20	-2,262.89	(0.00)	-2,262.89
Crediting to adjust quantity								
355a. Remove Cabinetry - upper (wall) units	12.50	LF	9.88	0.00	37.06	160.56	(0.00)	160.56
355b. Cabinetry - upper (wall) units	12.50	LF	172.99	128.00	687.12	2,977.50	(0.00)	2,977.50
Cabinets have damage on the inside and/or outside.								
376. Vinyl floor covering (sheet goods)	142.02	SF	-3.63	-23.78	-161.80	-701.11	(0.00)	-701.11
Crediting to replace vinyl sheet goods with tile in wet rooms per program policy								
378. Tile floor covering	129.11	SF	11.48	56.88	461.72	2,000.78	(0.00)	2,000.78
Flooring is damaged and will not meet TREC and HQS requirements.								
ECR Totals:			551.34	3381.14	14,652.75	14,652.75		
ECR-NEW Totals:			168.91	1047.22	4,537.90	4,537.90		

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Kitchen

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
Totals: Kitchen			720.25	4,428.36	19,190.65	0.00	19,190.65



Bedroom 1

Height: 8'

514.67 SF Walls	256.67 SF Ceiling
771.33 SF Walls & Ceiling	256.67 SF Floor
28.52 SY Flooring	64.33 LF Floor Perimeter
64.33 LF Ceil. Perimeter	

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
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ECR

-----WALLS & CEILINGS-----

83. 1/2" drywall - hung, taped, floated, ready for paint Damage to drywall TREC ITEM	64.33 SF	3.34	3.34	65.46	283.66	(0.00)	283.66
84. Apply anti-microbial agent to the ceiling Damage to drywall TREC Item	256.67 SF	0.31	9.71	24.20	113.48	(0.00)	113.48
85a. Remove 1/2" drywall - hung, taped, floated, ready for paint	256.67 SF	0.55	0.00	42.36	183.53	(0.00)	183.53
85b. 1/2" drywall - hung, taped, floated, ready for paint Damage to drywall TREC ITEM	256.67 SF	3.34	13.34	261.18	1,131.80	(0.00)	1,131.80
86. Seal/prime then paint the walls and ceiling twice (3 coats) Damage to drywall TREC ITEM	771.33 SF	1.54	20.36	362.46	1,570.67	(0.00)	1,570.67
87a. Remove Baseboard - 3 1/4"	64.33 LF	0.61	0.00	11.78	51.02	(0.00)	51.02
87b. Baseboard - 3 1/4"	64.33 LF	4.31	10.03	86.18	373.47	(0.00)	373.47
88. Base shoe	64.33 LF	1.85	4.09	36.92	160.02	(0.00)	160.02
89. Seal & paint baseboard w/cap &/or shoe - two coats	64.33 LF	2.13	1.49	41.54	180.05	(0.00)	180.05

-----HVAC-----

90a. Remove Cold air return cover	2.00 EA	8.28	0.00	4.96	21.52	(0.00)	21.52
90b. Cold air return cover	2.00 EA	32.66	2.54	20.36	88.22	(0.00)	88.22

-----ELECTRICAL-----

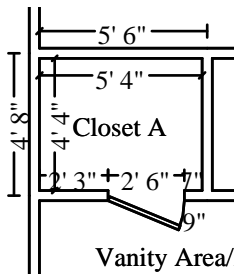
91. Detach & Reset Ceiling fan & light Line item needed for rewire	2.00 EA	264.94	0.00	158.96	688.84	(0.00)	688.84
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Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Bedroom 1

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
ECR Totals:			64.90	1116.36	4,846.28		4,846.28
Totals: Bedroom 1			64.90	1,116.36	4,846.28	0.00	4,846.28



Closet A

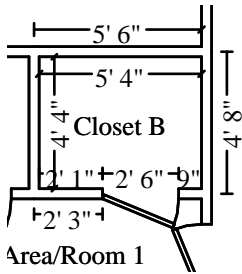
Height: 8'

154.67 SF Walls	23.11 SF Ceiling
177.78 SF Walls & Ceiling	23.11 SF Floor
2.57 SY Flooring	19.33 LF Floor Perimeter
19.33 LF Ceil. Perimeter	

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
<u>ECR</u>							
-----DOORS & WINDOWS-----							
92a. Remove Interior door unit	1.00 EA	24.70	0.00	7.42	32.12	(0.00)	32.12
92b. Interior door unit	1.00 EA	328.27	21.11	104.82	454.20	(0.00)	454.20
Damage to door and jam.							
93. Door knob - interior	1.00 EA	46.41	1.77	14.46	62.64	(0.00)	62.64
Damage to door							
94. Paint door slab only - 2 coats (per side)	2.00 EA	44.34	1.45	27.04	117.17	(0.00)	117.17
Damage to door							
95. Paint door/window trim & jamb - 2 coats (per side)	2.00 EA	37.55	0.92	22.82	98.84	(0.00)	98.84
Damage to door and jam.							
-----ELECTRICAL-----							
96a. Remove Light fixture	1.00 EA	10.97	0.00	3.30	14.27	<0.00>	14.27
96b. Light fixture	1.00 EA	85.85	2.72	26.58	115.15	<0.00>	115.15
Missing light cover							
ECR Totals:			27.97	206.44	894.39		894.39
Totals: Closet A			27.97	206.44	894.39	0.00	894.39

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

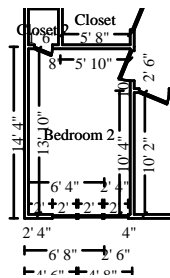


Closet B

Height: 8'

154.67 SF Walls	23.11 SF Ceiling
177.78 SF Walls & Ceiling	23.11 SF Floor
2.57 SY Flooring	19.33 LF Floor Perimeter
19.33 LF Ceil. Perimeter	

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV	
<u>ECR</u>								
-----DOORS & WINDOWS-----								
97a. Remove Interior door unit	1.00	EA	24.70	0.00	7.42	32.12	(0.00)	32.12
97b. Interior door unit	1.00	EA	328.27	21.11	104.82	454.20	(0.00)	454.20
Damage to door and jam.								
98. Door knob - interior	1.00	EA	46.41	1.77	14.46	62.64	(0.00)	62.64
Damage to door								
99. Paint door slab only - 2 coats (per side)	2.00	EA	44.34	1.45	27.04	117.17	(0.00)	117.17
Damage to door								
100. Paint door/window trim & jamb - 2 coats (per side)	2.00	EA	37.55	0.92	22.82	98.84	(0.00)	98.84
Damage to door and jam.								
-----ELECTRICAL-----								
101a. Remove Light fixture	1.00	EA	10.97	0.00	3.30	14.27	<0.00>	14.27
101b. Light fixture	1.00	EA	85.85	2.72	26.58	115.15	<0.00>	115.15
Missing light cover								
ECR Totals:			27.97	206.44	894.39			894.39
Totals: Closet B			27.97	206.44	894.39	0.00		894.39



Bedroom 2

Height: 8'

357.33 SF Walls	117.58 SF Ceiling
474.92 SF Walls & Ceiling	117.58 SF Floor
13.06 SY Flooring	44.67 LF Floor Perimeter
44.67 LF Ceil. Perimeter	

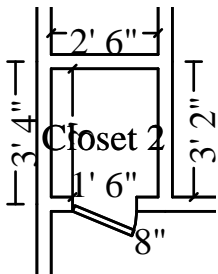
DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV	
<u>ECR</u>								
-----WALLS & CEILINGS-----								
102. 1/2" drywall - hung, taped, floated, ready for paint	44.67	SF	3.34	2.32	45.46	196.98	(0.00)	196.98
Damage to drywall								
TREC ITEM								

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Bedroom 2

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV	
103. Apply anti-microbial agent to the surface area Damage to drywall TREC Item	24.00	SF	0.31	0.91	2.28	10.63	(0.00)	10.63
104a. Remove 1/2" drywall - hung, taped, floated, ready for paint	24.00	SF	0.55	0.00	3.96	17.16	(0.00)	17.16
104b. 1/2" drywall - hung, taped, floated, ready for paint Damage to drywall TREC ITEM	24.00	SF	3.34	1.25	24.42	105.83	(0.00)	105.83
105. Texture drywall - light hand texture	24.00	SF	1.34	0.14	9.68	41.98	<0.00>	41.98
106. Seal/prime then paint the walls and ceiling twice (3 coats) Damage to drywall TREC ITEM	474.92	SF	1.54	12.54	223.18	967.10	(0.00)	967.10
107a. Remove Baseboard - 3 1/4"	44.67	LF	0.61	0.00	8.18	35.43	(0.00)	35.43
107b. Baseboard - 3 1/4"	44.67	LF	4.31	6.97	59.86	259.36	(0.00)	259.36
108. Base shoe	44.67	LF	1.85	2.84	25.66	111.14	(0.00)	111.14
109. Seal & paint baseboard w/cap &/or shoe - two coats	44.67	LF	2.13	1.03	28.84	125.02	(0.00)	125.02
-----HVAC-----								
110a. Remove Cold air return cover	2.00	EA	8.28	0.00	4.96	21.52	(0.00)	21.52
110b. Cold air return cover	2.00	EA	32.66	2.54	20.36	88.22	(0.00)	88.22
-----ELECTRICAL-----								
111. Detach & Reset Ceiling fan & light Line item needed for rewire	2.00	EA	264.94	0.00	158.96	688.84	(0.00)	688.84
ECR Totals:			30.54	615.80	2,669.21		2,669.21	
Totals: Bedroom 2			30.54	615.80	2,669.21	0.00	2,669.21	



Closet 2

Height: 8'

88.00 SF Walls	7.50 SF Ceiling
95.50 SF Walls & Ceiling	7.50 SF Floor
0.83 SY Flooring	11.00 LF Floor Perimeter
11.00 LF Ceil. Perimeter	

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
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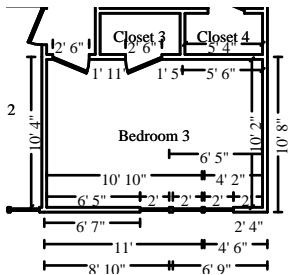
ECR

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Closet 2

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
-----WALLS & CEILINGS-----							
112. Seal/prime then paint the walls and ceiling twice (3 coats) Damage to paint	95.50	SF	1.54	2.52	44.88	194.47	(0.00) 194.47
-----ELECTRICAL-----							
113a. Remove Light fixture	1.00	EA	10.97	0.00	3.30	14.27	<0.00> 14.27
113b. Light fixture Missing light cover	1.00	EA	85.85	2.72	26.58	115.15	<0.00> 115.15
ECR Totals:			5.24	74.76	323.89		323.89
Totals: Closet 2			5.24	74.76	323.89	0.00	323.89



Bedroom 3

Height: 8'

400.00 SF Walls	150.81 SF Ceiling
550.81 SF Walls & Ceiling	150.81 SF Floor
16.76 SY Flooring	50.00 LF Floor Perimeter
50.00 LF Ceil. Perimeter	

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
-----WALLS & CEILINGS-----							
114. 1/2" drywall - hung, taped, floated, ready for paint Damage to drywall TREC ITEM	50.00	SF	3.34	2.60	50.88	220.48	(0.00) 220.48
115. Apply anti-microbial agent to the surface area Damage to drywall TREC Item	2.00	SF	0.31	0.08	0.18	0.88	(0.00) 0.88
116a. Remove 1/2" drywall - hung, taped, floated, ready for paint	2.00	SF	0.55	0.00	0.34	1.44	(0.00) 1.44
116b. 1/2" drywall - hung, taped, floated, ready for paint Damage to drywall TREC ITEM	2.00	SF	3.34	0.10	2.04	8.82	(0.00) 8.82
117. Texture drywall - light hand texture	2.00	SF	1.34	0.01	0.80	3.49	<0.00> 3.49
118. Seal/prime then paint the walls and ceiling twice (3 coats) Damage to drywall	550.81	SF	1.54	14.54	258.84	1,121.63	(0.00) 1,121.63

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Bedroom 3

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
TREC ITEM							
119a. Remove Baseboard - 3 1/4"	50.00	LF	0.61	0.00	9.16	39.66	(0.00) 39.66
119b. Baseboard - 3 1/4"	50.00	LF	4.31	7.80	67.00	290.30	(0.00) 290.30
120. Base shoe	50.00	LF	1.85	3.18	28.72	124.40	(0.00) 124.40
121. Seal & paint baseboard w/cap &/or shoe - two coats	50.00	LF	2.13	1.16	32.30	139.96	(0.00) 139.96
-----DOORS & WINDOWS-----							
122a. Remove Interior door unit	1.00	EA	24.70	0.00	7.42	32.12	(0.00) 32.12
122b. Interior door unit	1.00	EA	328.27	21.11	104.82	454.20	(0.00) 454.20
Damage to door							
123. Door knob - interior	1.00	EA	46.41	1.77	14.46	62.64	(0.00) 62.64
Damage to door							
124. Paint door slab only - 2 coats (per side)	2.00	EA	44.34	1.45	27.04	117.17	(0.00) 117.17
Damage to door							
125. Paint door/window trim & jamb - 2 coats (per side)	2.00	EA	37.55	0.92	22.82	98.84	(0.00) 98.84
Damage to door							
-----FLOORING-----							
126a. Remove Tile floor covering	150.81	SF	3.30	0.00	149.30	646.97	(0.00) 646.97
126b. Tile floor covering	150.81	SF	11.48	66.44	539.34	2,337.08	(0.00) 2,337.08
Flooring is damaged and will not meet TREC and HQS requirements.							
127. Floor preparation for resilient flooring	150.81	SF	0.71	1.24	32.50	140.82	(0.00) 140.82
Flooring is damaged and will not meet TREC and HQS requirements.							
-----HVAC-----							
128a. Remove Cold air return cover	2.00	EA	8.28	0.00	4.96	21.52	(0.00) 21.52
128b. Cold air return cover	2.00	EA	32.66	2.54	20.36	88.22	(0.00) 88.22
-----ELECTRICAL-----							
129. Detach & Reset Ceiling fan & light	2.00	EA	264.94	0.00	158.96	688.84	(0.00) 688.84
Line item needed for rewire							
ECR-NEW							
-----CONTRACTOR ADDITIONS-----							
-----FLOORING-----							
365a. Remove Tile floor covering	150.81	SF	-3.30	0.00	-149.30	-646.97	(0.00) -646.97
365b. Tile floor covering	150.81	SF	-11.48	-66.44	-539.34	-2,337.08	(0.00) -2,337.08
Creating to replace with LVP per program policy.							
366. Remove Tile floor covering	150.81	SF	3.30	0.00	149.30	646.97	(0.00) 646.97
Flooring is damaged and will not meet TREC and HQS requirements.							
369. Vinyl plank flooring	150.81	SF	6.85	42.30	322.62	1,397.97	(0.00) 1,397.97
Flooring does not meet TREC standard. Removing tile and replacing with LVP per policy.							
-----ELECTRICAL-----							

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Bedroom 4

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
<u>ECR</u>							
-----WALLS & CEILINGS-----							
131. 1/2" drywall - hung, taped, floated, ready for paint Damage to drywall TREC ITEM	46.67	SF 3.34	2.43	47.48	205.79	(0.00)	205.79
132. Apply anti-microbial agent to the surface area Damage to drywall TREC Item	10.00	SF 0.31	0.38	0.96	4.44	(0.00)	4.44
133a. Remove 1/2" drywall - hung, taped, floated, ready for paint	10.00	SF 0.55	0.00	1.66	7.16	(0.00)	7.16
133b. 1/2" drywall - hung, taped, floated, ready for paint Damage to drywall TREC ITEM	10.00	SF 3.34	0.52	10.18	44.10	(0.00)	44.10
134. Texture drywall - light hand texture	10.00	SF 1.34	0.06	4.04	17.50	<0.00>	17.50
135. Seal/prime then paint the walls and ceiling twice (3 coats) Damage to drywall TREC ITEM	509.19	SF 1.54	13.44	239.28	1,036.87	(0.00)	1,036.87
136a. Remove Baseboard - 3 1/4"	46.67	LF 0.61	0.00	8.54	37.01	(0.00)	37.01
136b. Baseboard - 3 1/4"	46.67	LF 4.31	7.28	62.52	270.95	(0.00)	270.95
137. Base shoe	46.67	LF 1.85	2.97	26.80	116.11	(0.00)	116.11
138. Seal & paint baseboard w/cap &/or shoe - two coats	46.67	LF 2.13	1.08	30.14	130.63	(0.00)	130.63
-----DOORS & WINDOWS-----							
139a. Remove Interior door unit	1.00	EA 24.70	0.00	7.42	32.12	(0.00)	32.12
139b. Interior door unit Damage to door	1.00	EA 328.27	21.11	104.82	454.20	(0.00)	454.20
140. Door knob - interior Damage to door	1.00	EA 46.41	1.77	14.46	62.64	(0.00)	62.64
141. Paint door slab only - 2 coats (per side) Damage to door	2.00	EA 44.34	1.45	27.04	117.17	(0.00)	117.17
142. Paint door/window trim & jamb - 2 coats (per side) Damage to door	2.00	EA 37.55	0.92	22.82	98.84	(0.00)	98.84
-----FLOORING-----							
143a. Remove Tile floor covering	135.86	SF 3.30	0.00	134.50	582.84	(0.00)	582.84
143b. Tile floor covering Flooring is damaged and will not meet TREC and HQS requirements.	135.86	SF 11.48	59.85	485.86	2,105.38	(0.00)	2,105.38
144. Floor preparation for resilient flooring Flooring is damaged and will not meet TREC and HQS requirements.	135.86	SF 0.71	1.12	29.28	126.86	(0.00)	126.86
-----HVAC-----							

Estimated Cost of Repairs

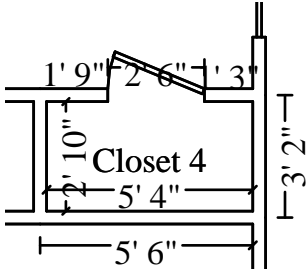
Texas General Land Office - Homeowner Assistance Program

CONTINUED - Bedroom 4

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV	
145a. Remove Cold air return cover	2.00	EA	8.28	0.00	4.96	21.52	(0.00)	21.52
145b. Cold air return cover	2.00	EA	32.66	2.54	20.36	88.22	(0.00)	88.22
-----ELECTRICAL-----								
146. Detach & Reset Ceiling fan & light Line item needed for rewire	2.00	EA	264.94	0.00	158.96	688.84	(0.00)	688.84
ECR-NEW								
-----CONTRACTOR ADDITIONS-----								
-----WALLS & CEILINGS-----								
360. Apply anti-microbial agent to the surface area	10.00	SF	-0.31	-0.38	-0.96	-4.44	(0.00)	-4.44
Crediting to adjust quantity								
363. Apply anti-microbial agent to the ceiling	135.86	SF	0.31	5.14	12.80	60.06	(0.00)	60.06
Damage to drywall TREC Item								
361a. Remove 1/2" drywall - hung, taped, floated, ready for paint	10.00	SF	-0.55	0.00	-1.66	-7.16	(0.00)	-7.16
361b. 1/2" drywall - hung, taped, floated, ready for paint	10.00	SF	-3.34	-0.52	-10.18	-44.10	(0.00)	-44.10
Damage TREC ITEM								
364a. Remove 1/2" drywall - hung, taped, floated, ready for paint	135.86	SF	0.55	0.00	22.42	97.14	(0.00)	97.14
364b. 1/2" drywall - hung, taped, floated, ready for paint	135.86	SF	3.34	7.06	138.26	599.09	(0.00)	599.09
Damage to ceiling TREC Item								
362. Texture drywall - light hand texture	10.00	SF	-1.34	-0.06	-4.04	-17.50	<0.00>	-17.50
Crediting to replace entire ceiling								
-----FLOORING-----								
370a. Remove Tile floor covering	135.86	SF	-3.30	0.00	-134.50	-582.84	(0.00)	-582.84
370b. Tile floor covering	135.86	SF	-11.48	-59.85	-485.86	-2,105.38	(0.00)	-2,105.38
Creating to replace with LVP per program policy.								
371. Remove Tile floor covering	135.86	SF	3.30	0.00	134.50	582.84	(0.00)	582.84
Flooring is damaged and will not meet TREC and HQS requirements.								
372. Vinyl plank flooring	135.86	SF	6.85	38.11	290.64	1,259.39	(0.00)	1,259.39
Flooring does not meet TREC standard. Removing tile and replacing with LVP per policy.								
ECR Totals:			116.92	1442.08	6,249.19		6,249.19	
ECR-NEW Totals:			-10.50	-38.58	-162.90		-162.90	
Totals: Bedroom 4			106.42	1,403.50	6,086.29	0.00	6,086.29	

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

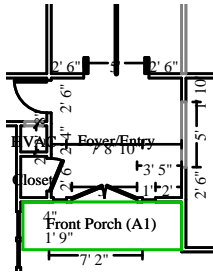


Closet 4

Height: 8'

130.67 SF Walls	15.11 SF Ceiling
145.78 SF Walls & Ceiling	15.11 SF Floor
1.68 SY Flooring	16.33 LF Floor Perimeter
16.33 LF Ceil. Perimeter	

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
ECR							
-----ELECTRICAL-----							
147a. Remove Light fixture	1.00	EA	10.97	0.00	3.30	14.27	<0.00> 14.27
147b. Light fixture	1.00	EA	85.85	2.72	26.58	115.15	<0.00> 115.15
Missing light cover							
ECR Totals:			2.72	29.88	129.42		129.42
Totals: Closet 4			2.72	29.88	129.42	0.00	129.42



Foyer/Entry

Height: 8'

273.33 SF Walls	91.67 SF Ceiling
365.00 SF Walls & Ceiling	91.67 SF Floor
10.19 SY Flooring	33.33 LF Floor Perimeter
38.33 LF Ceil. Perimeter	

Missing Wall - Goes to Floor

5' X 6' 8"

Opens into LIVING_ROOM

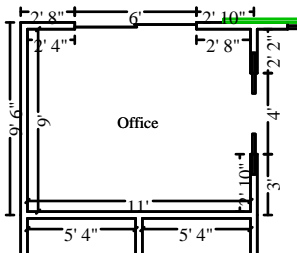
DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
ECR							
-----WALLS & CEILINGS-----							
148. 1/2" drywall - hung, taped, floated, ready for paint Damage to drywall TREC ITEM	33.33	SF	3.34	1.73	33.92	146.97	(0.00) 146.97
149. Apply anti-microbial agent to the surface area Damage to drywall TREC Item	8.00	SF	0.31	0.30	0.74	3.52	(0.00) 3.52
150a. Remove 1/2" drywall - hung, taped, floated, ready for paint	8.00	SF	0.55	0.00	1.32	5.72	(0.00) 5.72
150b. 1/2" drywall - hung, taped, floated, ready for paint Damage to drywall TREC ITEM	8.00	SF	3.34	0.42	8.14	35.28	(0.00) 35.28
151. Texture drywall - light hand texture	8.00	SF	1.34	0.05	3.24	14.01	<0.00> 14.01

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Foyer/Entry

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV	
152. Seal/prime then paint the walls and ceiling twice (3 coats) Damage to drywall TREC ITEM	365.00	SF	1.54	9.64	171.54	743.28	(0.00)	743.28
153a. Remove Baseboard - 3 1/4"	33.33	LF	0.61	0.00	6.10	26.43	(0.00)	26.43
153b. Baseboard - 3 1/4"	33.33	LF	4.31	5.20	44.66	193.51	(0.00)	193.51
154. Base shoe	33.33	LF	1.85	2.12	19.14	82.92	(0.00)	82.92
155. Seal & paint baseboard w/cap &/or shoe - two coats	33.33	LF	2.13	0.77	21.54	93.30	(0.00)	93.30
-----HVAC-----								
156a. Remove Cold air return cover	1.00	EA	8.28	0.00	2.48	10.76	(0.00)	10.76
156b. Cold air return cover	1.00	EA	32.66	1.27	10.18	44.11	(0.00)	44.11
-----ELECTRICAL-----								
157. Detach & Reset Light fixture Line item needed for rewire	1.00	EA	74.39	0.00	22.32	96.71	(0.00)	96.71
ECR-NEW								
-----CONTRACTOR ADDITIONS-----								
-----FLOORING-----								
379. Remove Vinyl tile	91.67	SF	1.50	0.00	41.26	178.77	<0.00>	178.77
Flooring is damaged and will not meet TREC and HQS requirements.								
381. Floor preparation for resilient flooring	91.67	SF	0.71	0.76	19.74	85.59	(0.00)	85.59
Flooring is damaged and will not meet TREC and HQS requirements.								
380. Vinyl plank flooring - Standard grade	91.67	SF	5.51	15.58	156.22	676.90	(0.00)	676.90
Flooring is damaged and will not meet TREC and HQS requirements.								
ECR Totals:			21.50	345.32	1,496.52		1,496.52	
ECR-NEW Totals:			16.34	217.22	941.26		941.26	
Totals: Foyer/Entry			37.84	562.54	2,437.78	0.00	2,437.78	



Office

Height: 8'

320.00 SF Walls	99.00 SF Ceiling
419.00 SF Walls & Ceiling	99.00 SF Floor
11.00 SY Flooring	40.00 LF Floor Perimeter
40.00 LF Ceil. Perimeter	

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
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Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Office

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
<u>ECR</u>							
-----WALLS & CEILINGS-----							
158. Remove Paneling Damage to paneling	320.00	SF 0.41	0.00	39.36	170.56	(0.00)	170.56
159. 1/2" drywall - hung, taped, floated, ready for paint Damage to drywall TREC ITEM	320.00	SF 3.34	16.63	325.62	1,411.05	(0.00)	1,411.05
160. Apply anti-microbial agent to more than the walls Damage to drywall TREC Item	358.00	SF 0.31	13.54	33.74	158.26	(0.00)	158.26
161a. Remove 1/2" drywall - hung, taped, floated, ready for paint	38.00	SF 0.55	0.00	6.28	27.18	(0.00)	27.18
161b. 1/2" drywall - hung, taped, floated, ready for paint Damage to drywall TREC ITEM	38.00	SF 3.34	1.98	38.68	167.58	(0.00)	167.58
162. Texture drywall - light hand texture	38.00	SF 1.34	0.22	15.34	66.48	<0.00>	66.48
163. Seal/prime then paint the walls and ceiling twice (3 coats) Damage to drywall TREC ITEM	419.00	SF 1.54	11.06	196.90	853.22	(0.00)	853.22
164a. Remove Baseboard - 3 1/4"	40.00	LF 0.61	0.00	7.32	31.72	(0.00)	31.72
164b. Baseboard - 3 1/4"	40.00	LF 4.31	6.24	53.60	232.24	(0.00)	232.24
165. Base shoe	40.00	LF 1.85	2.54	22.96	99.50	(0.00)	99.50
166. Seal & paint baseboard w/cap &/or shoe - two coats	40.00	LF 2.13	0.92	25.84	111.96	(0.00)	111.96
-----HVAC-----							
167a. Remove Cold air return cover	2.00	EA 8.28	0.00	4.96	21.52	(0.00)	21.52
167b. Cold air return cover	2.00	EA 32.66	2.54	20.36	88.22	(0.00)	88.22
-----ELECTRICAL-----							
168. Detach & Reset Light fixture Line item needed for rewire	1.00	EA 74.39	0.00	22.32	96.71	(0.00)	96.71

ECR-NEW

-----CONTRACTOR ADDITIONS-----

-----WALLS & CEILINGS-----

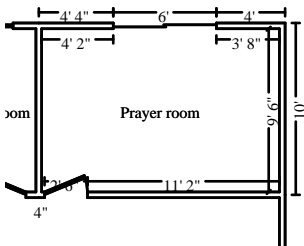
382. Apply anti-microbial agent to more than the walls Crediting to adjust quantity	358.00	SF -0.31	-13.54	-33.74	-158.26	(0.00)	-158.26
385. Apply anti-microbial agent to the walls and ceiling Damage to drywall TREC Item	419.00	SF 0.31	15.85	39.48	185.22	(0.00)	185.22

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Office

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV	
383a. Remove 1/2" drywall - hung, taped, floated, ready for paint	38.00	SF	-0.55	0.00	-6.28	-27.18	(0.00)	-27.18
383b. 1/2" drywall - hung, taped, floated, ready for paint	38.00	SF	-3.34	-1.98	-38.68	-167.58	(0.00)	-167.58
Crediting to adjust quantity								
TREC ITEM								
386a. Remove 1/2" drywall - hung, taped, floated, ready for paint	99.00	SF	0.55	0.00	16.34	70.79	(0.00)	70.79
386b. 1/2" drywall - hung, taped, floated, ready for paint	99.00	SF	3.34	5.15	100.74	436.55	(0.00)	436.55
Damage to drywall								
TREC Item								
384. Texture drywall - light hand texture	38.00	SF	-1.34	-0.22	-15.34	-66.48	<0.00>	-66.48
Crediting due to entire ceiling being replaced								
-----DOORS & WINDOWS-----								
387a. Remove Bypass (sliding) door set - lauan/mahogany	1.00	EA	19.76	0.00	5.92	25.68	(0.00)	25.68
387b. Bypass (sliding) door set - lauan/mahogany	1.00	EA	284.54	16.76	90.38	391.68	(0.00)	391.68
Door does not function correctly								
388. Paint bypass door set - slab only - 2 coats (per side)	2.00	EA	48.35	2.58	29.80	129.08	(0.00)	129.08
To facilitate replacement of door.								
389a. Remove Door opening (jamb & casing) - 36"to60"wide - paint grade	1.00	EA	7.95	0.00	2.38	10.33	(0.00)	10.33
389b. Door opening (jamb & casing) - 36"to60"wide - paint grade	1.00	EA	195.28	11.02	61.88	268.18	(0.00)	268.18
To facilitate replacement of door.								
390. Paint door/window trim & jamb - Large - 2 coats (per side)	2.00	EA	36.79	0.95	22.36	96.89	(0.00)	96.89
To facilitate replacement of door.								
ECR Totals:			55.67	813.28	3,536.20		3,536.20	
ECR-NEW Totals:			36.57	275.24	1,194.90		1,194.90	
Totals: Office			92.24	1,088.52	4,731.10	0.00	4,731.10	



Prayer room

Height: 8'

373.33 SF Walls	131.42 SF Ceiling
504.75 SF Walls & Ceiling	131.42 SF Floor
14.60 SY Flooring	46.67 LF Floor Perimeter
46.67 LF Ceil. Perimeter	

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

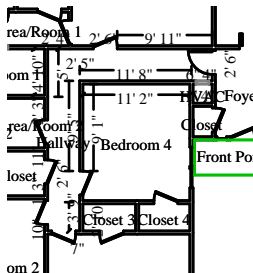
DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
<u>ECR</u>							
-----WALLS & CEILINGS-----							
169. 1/2" drywall - hung, taped, floated, ready for paint Damage to drywall TREC ITEM	46.67	SF 3.34	2.43	47.48	205.79	(0.00)	205.79
170. Apply anti-microbial agent to the surface area Damage to drywall TREC Item	10.00	SF 0.31	0.38	0.96	4.44	(0.00)	4.44
171a. Remove 1/2" drywall - hung, taped, floated, ready for paint	10.00	SF 0.55	0.00	1.66	7.16	(0.00)	7.16
171b. 1/2" drywall - hung, taped, floated, ready for paint Damage to drywall TREC ITEM	10.00	SF 3.34	0.52	10.18	44.10	(0.00)	44.10
172. Texture drywall - light hand texture	10.00	SF 1.34	0.06	4.04	17.50	<0.00>	17.50
173. Seal/prime then paint the walls and ceiling twice (3 coats) Damage to drywall TREC ITEM	504.75	SF 1.54	13.33	237.20	1,027.85	(0.00)	1,027.85
174a. Remove Baseboard - 3 1/4"	46.67	LF 0.61	0.00	8.54	37.01	(0.00)	37.01
174b. Baseboard - 3 1/4"	46.67	LF 4.31	7.28	62.52	270.95	(0.00)	270.95
175. Base shoe	46.67	LF 1.85	2.97	26.80	116.11	(0.00)	116.11
176. Seal & paint baseboard w/cap &/or shoe - two coats	46.67	LF 2.13	1.08	30.14	130.63	(0.00)	130.63
-----HVAC-----							
177a. Remove Cold air return cover	1.00	EA 8.28	0.00	2.48	10.76	(0.00)	10.76
177b. Cold air return cover	1.00	EA 32.66	1.27	10.18	44.11	(0.00)	44.11
-----ELECTRICAL-----							
178. Detach & Reset Ceiling fan Line item needed for rewire	1.00	EA 264.94	0.00	79.48	344.42	(0.00)	344.42
179. Detach & Reset Light fixture Line item needed for rewire	2.00	EA 74.39	0.00	44.64	193.42	(0.00)	193.42
<u>ECR-NEW</u>							
-----CONTRACTOR ADDITIONS-----							
-----WALLS & CEILINGS-----							
395. 1/2" drywall - hung, taped, floated, ready for paint TREC ITEM Crediting to adjust quantity	46.67	SF 3.34	-2.43	-47.48	-205.79	(0.00)	-205.79
399a. Remove 1/2" drywall - hung, taped, floated, ready for paint	157.33	SF 0.55	0.00	25.96	112.49	(0.00)	112.49
399b. 1/2" drywall - hung, taped, floated, ready for paint Drywall damaged TREC item	157.33	SF 3.34	8.18	160.10	693.76	(0.00)	693.76
396. Apply anti-microbial agent to the surface area Crediting to adjust quantity	10.00	SF 0.31	-0.38	-0.96	-4.44	(0.00)	-4.44
400. Apply anti-microbial agent to more than the ceiling	288.75	SF 0.31	10.91	27.22	127.64	(0.00)	127.64

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Prayer room

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
To facilitate repairs to walls. TREC Item							
397a. Remove 1/2" drywall - hung, taped, floated, ready for paint	10.00	SF	-0.55	0.00	-1.66	-7.16	(0.00) -7.16
397b. 1/2" drywall - hung, taped, floated, ready for paint TREC ITEM	10.00	SF	-3.34	-0.52	-10.18	-44.10	(0.00) -44.10
Crediting to adjust quantity							
401a. Remove 1/2" drywall - hung, taped, floated, ready for paint	131.42	SF	0.55	0.00	21.68	93.96	(0.00) 93.96
401b. 1/2" drywall - hung, taped, floated, ready for paint	131.42	SF	3.34	6.83	133.72	579.49	(0.00) 579.49
Drywall damaged TREC item							
398. Texture drywall - light hand texture	10.00	SF	-1.34	-0.06	-4.04	-17.50	<0.00> -17.50
Crediting due to entire ceiling being replaced							
-----FLOORING-----							
394. Remove Tile floor covering	131.42	SF	3.30	0.00	130.10	563.79	(0.00) 563.79
Flooring is damaged and will not meet TREC and HQS requirements.							
392. Floor preparation for resilient flooring	131.42	SF	0.71	1.08	28.32	122.71	(0.00) 122.71
Flooring is damaged and will not meet TREC and HQS requirements.							
393. Vinyl plank flooring - Standard grade	131.42	SF	5.51	22.34	223.94	970.40	(0.00) 970.40
Flooring is damaged and will not meet TREC and HQS requirements.							
ECR Totals:			29.32	566.30	2,454.25		2,454.25
ECR-NEW Totals:			45.95	686.72	2,985.25		2,985.25
Totals: Prayer room			75.27	1,253.02	5,439.50	0.00	5,439.50



Hallway

Height: 8'

575.99 SF Walls	109.44 SF Ceiling
685.43 SF Walls & Ceiling	109.44 SF Floor
12.16 SY Flooring	72.33 LF Floor Perimeter
72.33 LF Ceil. Perimeter	

Missing Wall - Goes to neither Floor/Ceiling 1' 3 7/8" X 2' 1/4"

Opens into HVAC

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
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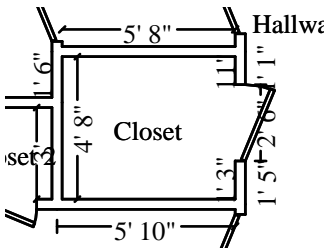
ECR

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Hallway

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
-----WALLS & CEILINGS-----							
180. Seal/prime then paint the walls and ceiling twice (3 coats) Damage to drywall TREC Item	685.43	SF	1.54	18.10	322.10	1,395.76	(0.00) 1,395.76
-----DOORS & WINDOWS-----							
181a. Remove Interior door unit	1.00	EA	24.70	0.00	7.42	32.12	(0.00) 32.12
181b. Interior door unit Damage to door	1.00	EA	328.27	21.11	104.82	454.20	(0.00) 454.20
182. Door knob - interior Damage to door	1.00	EA	46.41	1.77	14.46	62.64	(0.00) 62.64
183. Paint door slab only - 2 coats (per side) Damage to door	2.00	EA	44.34	1.45	27.04	117.17	(0.00) 117.17
184. Paint door/window trim & jamb - 2 coats (per side) Damage to door	2.00	EA	37.55	0.92	22.82	98.84	(0.00) 98.84
-----ELECTRICAL-----							
185a. Remove Light fixture	1.00	EA	10.97	0.00	3.30	14.27	<0.00> 14.27
185b. Light fixture Damage to light fixture	1.00	EA	85.85	2.72	26.58	115.15	<0.00> 115.15
ECR Totals:				46.07	528.54	2,290.15	2,290.15
Totals: Hallway				46.07	528.54	2,290.15	0.00 2,290.15



DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
-----Closet-----							
165.33 SF Walls						26.44 SF Ceiling	
191.78 SF Walls & Ceiling						26.44 SF Floor	
2.94 SY Flooring						20.67 LF Floor Perimeter	
20.67 LF Ceil. Perimeter							

Height: 8'

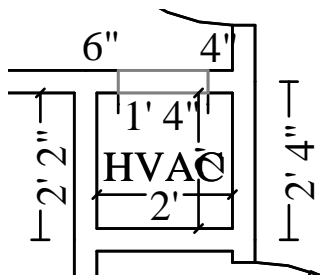
DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
-----WALLS & CEILINGS-----							
186. Apply anti-microbial agent to the surface area Damage to drywall TREC Item	8.00	SF	0.31	0.30	0.74	3.52	(0.00) 3.52
187a. Remove 1/2" drywall - hung, taped, floated, ready for paint	8.00	SF	0.55	0.00	1.32	5.72	(0.00) 5.72

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Closet

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
187b. 1/2" drywall - hung, taped, floated, ready for paint Damage to drywall TREC ITEM	8.00	SF 3.34	0.42	8.14	35.28	(0.00)	35.28
188. Texture drywall - light hand texture	8.00	SF 1.34	0.05	3.24	14.01	<0.00>	14.01
189. Seal/prime then paint the walls and ceiling twice (3 coats) Damage to drywall TREC ITEM	191.78	SF 1.54	5.06	90.12	390.52	(0.00)	390.52
-----ELECTRICAL-----							
190a. Remove Light fixture	1.00	EA 10.97	0.00	3.30	14.27	<0.00>	14.27
190b. Light fixture Missing light cover	1.00	EA 85.85	2.72	26.58	115.15	<0.00>	115.15
ECR Totals:			8.55	133.44	578.47		578.47
Totals: Closet			8.55	133.44	578.47	0.00	578.47



HVAC

Height: 8'

61.32 SF Walls	4.00 SF Ceiling
65.32 SF Walls & Ceiling	4.00 SF Floor
0.44 SY Flooring	8.00 LF Floor Perimeter
8.00 LF Ceil. Perimeter	

Missing Wall - Goes to neither Floor/Ceiling 1' 3 7/8" X 2' 1/4"

Opens into HALLWAY

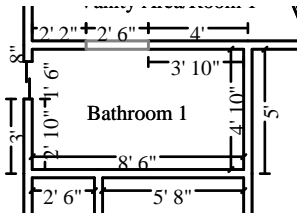
DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
<u>ECR</u>							
-----DOORS & WINDOWS-----							
191a. Remove Interior door unit	1.00	EA 24.70	0.00	7.42	32.12	(0.00)	32.12
191b. Interior door unit Damage to door	1.00	EA 328.27	21.11	104.82	454.20	(0.00)	454.20
192. Door knob - interior Damage to door	1.00	EA 46.41	1.77	14.46	62.64	(0.00)	62.64
193. Paint door slab only - 2 coats (per side) Damage to door	2.00	EA 44.34	1.45	27.04	117.17	(0.00)	117.17
194. Paint door/window trim & jamb - 2 coats (per side) Damage to door	2.00	EA 37.55	0.92	22.82	98.84	(0.00)	98.84

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - HVAC

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
ECR-NEW							
-----CONTRACTOR ADDITIONS-----							
-----HVAC-----							
402a. Remove Central air - condenser unit - 5 ton - 14-15 SEER	1.00	EA	52.72	0.00	15.82	68.54	(0.00) 68.54
402b. Central air - condenser unit - 5 ton - 14-15 SEER	1.00	EA	2,824.15	185.69	902.94	3,912.78	(0.00) 3,912.78
403a. Remove Air handler - with heat element and A/C coil - 5 ton	1.00	EA	86.04	0.00	25.82	111.86	(0.00) 111.86
403b. Air handler - with heat element and A/C coil - 5 ton	1.00	EA	2,465.38	118.92	775.30	3,359.60	(0.00) 3,359.60
404a. Remove Ductwork system - hot or cold air - 2200 to 2500 SF home	1.00	EA	701.06	0.00	210.32	911.38	(0.00) 911.38
404b. Ductwork system - hot or cold air - 2200 to 2500 SF home	1.00	EA	6,677.64	247.67	2,077.60	9,002.91	(0.00) 9,002.91
ECR Totals:			25.25	176.56	764.97		764.97
ECR-NEW Totals:			552.28	4007.80	17,367.07		17,367.07
Totals: HVAC			577.53	4,184.36	18,132.04	0.00	18,132.04



Bathroom 1

Height: 8'

196.67 SF Walls	41.08 SF Ceiling
237.75 SF Walls & Ceiling	41.08 SF Floor
4.56 SY Flooring	24.17 LF Floor Perimeter
26.67 LF Ceil. Perimeter	

Missing Wall - Goes to Floor

2' 6" X 6' 8"

Opens into VANITY_AREA_

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
ECR							
-----CABINETRY-----							
195a. Remove Vanity	6.00	LF	9.88	0.00	17.78	77.06	(0.00) 77.06
195b. Vanity	6.00	LF	244.61	96.89	469.36	2,033.91	(0.00) 2,033.91
Damage to cabinet							
196. Detach & Reset Vanity top - two sinks - cultured marble	6.00	LF	44.71	0.15	80.52	348.93	(0.00) 348.93
Cabinets have damage on the inside and/or outside.							
-----WALLS & CEILINGS-----							
197. Apply anti-microbial agent to the surface area	24.00	SF	0.31	0.91	2.28	10.63	(0.00) 10.63

Estimated Cost of Repairs

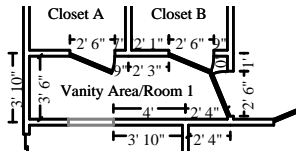
Texas General Land Office - Homeowner Assistance Program

CONTINUED - Bathroom 1

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV	
Damage to drywall TREC Item								
198a. Remove 1/2" drywall - hung, taped, floated, ready for paint	24.00	SF	0.55	0.00	3.96	17.16	(0.00)	17.16
198b. 1/2" drywall - hung, taped, floated, ready for paint	24.00	SF	3.34	1.25	24.42	105.83	(0.00)	105.83
Damage to drywall TREC ITEM								
199. Texture drywall - light hand texture	24.00	SF	1.34	0.14	9.68	41.98	<0.00>	41.98
200. Seal/prime then paint the walls and ceiling twice (3 coats)	237.75	SF	1.54	6.28	111.72	484.14	(0.00)	484.14
Damage to drywall TREC ITEM								
-----ELECTRICAL-----								
201a. Remove Light fixture	2.00	EA	10.97	0.00	6.58	28.52	<0.00>	28.52
201b. Light fixture Missing light cover	2.00	EA	85.85	5.45	53.16	230.31	<0.00>	230.31
ECR-NEW								
-----CONTRACTOR ADDITIONS-----								
-----WALLS & CEILINGS-----								
405. 1/2" drywall - hung, taped, floated, ready for paint Line item needed for rewire	24.17	SF	3.34	1.26	24.60	106.59	(0.00)	106.59
ECR Totals:			111.07	779.46	3,378.47		3,378.47	
ECR-NEW Totals:			1.26	24.60	106.59		106.59	
Totals: Bathroom 1			112.33	804.06	3,485.06	0.00	3,485.06	

Vanity Area/Room 1

Height: 8'



215.33 SF Walls	38.50 SF Ceiling
253.83 SF Walls & Ceiling	38.50 SF Floor
4.28 SY Flooring	26.50 LF Floor Perimeter
29.00 LF Ceil. Perimeter	

Missing Wall - Goes to Floor

2' 6" X 6' 8"

Opens into BATHROOM_3

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
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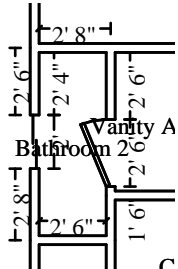
ECR

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Vanity Area/Room 1

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
-----WALLS & CEILINGS-----							
202. Apply anti-microbial agent to the surface area Damage to drywall TREC Item	12.00	SF	0.31	0.45	1.14	5.31	(0.00) 5.31
203a. Remove 1/2" drywall - hung, taped, floated, ready for paint	12.00	SF	0.55	0.00	1.98	8.58	(0.00) 8.58
203b. 1/2" drywall - hung, taped, floated, ready for paint Damage to drywall TREC ITEM	12.00	SF	3.34	0.62	12.20	52.90	(0.00) 52.90
204. Texture drywall - light hand texture	12.00	SF	1.34	0.07	4.84	20.99	<0.00> 20.99
205. Seal/prime then paint the walls and ceiling twice (3 coats) Damage to drywall TREC ITEM	253.83	SF	1.54	6.70	119.30	516.90	(0.00) 516.90
ECR Totals:			7.84	139.46	604.68		604.68
Totals: Vanity Area/Room 1			7.84	139.46	604.68	0.00	604.68



Bathroom 2

Height: 8'

149.33 SF Walls	17.08 SF Ceiling
166.42 SF Walls & Ceiling	17.08 SF Floor
1.90 SY Flooring	18.67 LF Floor Perimeter
18.67 LF Ceil. Perimeter	

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
-----CABINetry-----							
206a. Remove Vanity	6.00	LF	9.88	0.00	17.78	77.06	(0.00) 77.06
206b. Vanity Damage to cabinet	6.00	LF	244.61	96.89	469.36	2,033.91	(0.00) 2,033.91
207. Detach & Reset Vanity top - two sinks - cultured marble Cabinets have damage on the inside and/or outside.	6.00	LF	44.71	0.15	80.52	348.93	(0.00) 348.93
-----WALLS & CEILINGS-----							
208. Apply anti-microbial agent to the surface area	24.00	SF	0.31	0.91	2.28	10.63	(0.00) 10.63

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Bathroom 2

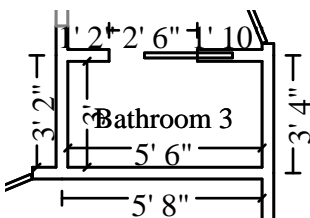
DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV	
Damage to drywall TREC Item								
209a. Remove 1/2" drywall - hung, taped, floated, ready for paint	24.00	SF	0.55	0.00	3.96	17.16	(0.00)	17.16
209b. 1/2" drywall - hung, taped, floated, ready for paint	24.00	SF	3.34	1.25	24.42	105.83	(0.00)	105.83
Damage to drywall TREC ITEM								
210. Texture drywall - light hand texture	24.00	SF	1.34	0.14	9.68	41.98	<0.00>	41.98
211. Seal/prime then paint the walls and ceiling twice (3 coats)	166.42	SF	1.54	4.39	78.20	338.88	(0.00)	338.88
Damage to drywall TREC ITEM								
-----DOORS & WINDOWS-----								
212a. Remove Interior door unit	1.00	EA	24.70	0.00	7.42	32.12	(0.00)	32.12
212b. Interior door unit	1.00	EA	328.27	21.11	104.82	454.20	(0.00)	454.20
Damage to door								
213. Door knob - interior	1.00	EA	46.41	1.77	14.46	62.64	(0.00)	62.64
Damage to door								
214. Paint door slab only - 2 coats (per side)	2.00	EA	44.34	1.45	27.04	117.17	(0.00)	117.17
Damage to door								
215. Paint door/window trim & jamb - 2 coats (per side)	2.00	EA	37.55	0.92	22.82	98.84	(0.00)	98.84
Damage to door								
-----ELECTRICAL-----								
216a. Remove Light fixture	2.00	EA	10.97	0.00	6.58	28.52	<0.00>	28.52
216b. Light fixture	2.00	EA	85.85	5.45	53.16	230.31	<0.00>	230.31
Missing light cover								
ECR-NEW								
-----CONTRACTOR ADDITIONS-----								
-----WALLS & CEILINGS-----								
406. 1/2" drywall - hung, taped, floated, ready for paint	18.67	SF	3.34	0.97	19.00	82.33	(0.00)	82.33
Line item needed for rewire								
407. Apply anti-microbial agent to the surface area	24.00	SF	-0.31	-0.91	-2.28	-10.63	(0.00)	-10.63
Damage to drywall TREC Item								
410. Apply anti-microbial agent to the ceiling	17.08	SF	0.31	0.64	1.60	7.53	(0.00)	7.53
408a. Remove 1/2" drywall - hung, taped, floated, ready for paint	24.00	SF	-0.55	0.00	-3.96	-17.16	(0.00)	-17.16
408b. 1/2" drywall - hung, taped, floated, ready for paint	24.00	SF	-3.34	-1.25	-24.42	-105.83	(0.00)	-105.83

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Bathroom 2

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
Damage to drywall							
TREC ITEM							
411a. Remove 1/2" drywall - hung, taped, floated, ready for paint	17.08	SF	0.55	0.00	2.82	12.21	(0.00) 12.21
411b. 1/2" drywall - hung, taped, floated, ready for paint	17.08	SF	3.34	0.89	17.38	75.32	(0.00) 75.32
409. Texture drywall - light hand texture	24.00	SF	-1.34	-0.14	-9.68	-41.98	<0.00> -41.98
-----HVAC-----							
413a. Remove Cold air return cover	2.00	EA	8.28	0.00	4.96	21.52	(0.00) 21.52
413b. Cold air return cover	2.00	EA	32.66	2.54	20.36	88.22	(0.00) 88.22
Due to ceiling being replaced							
-----ELECTRICAL-----							
415a. Remove Bathroom ventilation fan, light, and heater	1.00	EA	23.19	0.00	6.96	30.15	(0.00) 30.15
415b. Bathroom ventilation fan, light, and heater	1.00	EA	385.70	23.48	122.76	531.94	(0.00) 531.94
Due to ceiling being replaced							
ECR Totals:			134.43	922.50	3,998.18		3,998.18
ECR-NEW Totals:			26.22	155.50	673.62		673.62
Totals: Bathroom 2			160.65	1,078.00	4,671.80	0.00	4,671.80



Bathroom 3

Height: 8'

136.00 SF Walls	16.50 SF Ceiling
152.50 SF Walls & Ceiling	16.50 SF Floor
1.83 SY Flooring	17.00 LF Floor Perimeter
17.00 LF Ceil. Perimeter	

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
ECR							
-----CABINETRY-----							
217a. Remove Vanity	3.00	LF	9.88	0.00	8.90	38.54	(0.00) 38.54
217b. Vanity	3.00	LF	244.61	48.45	234.68	1,016.96	(0.00) 1,016.96
Damage to cabinet							
218a. Remove Vanity top - one sink - cultured marble	3.00	LF	5.68	0.00	5.12	22.16	(0.00) 22.16
218b. Vanity top - one sink - cultured marble	3.00	LF	98.31	15.27	93.06	403.26	(0.00) 403.26

Cabinets have damage on the inside and/or outside.

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Bathroom 3

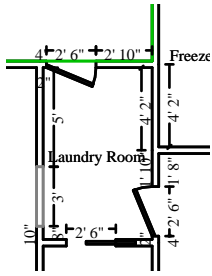
DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
-----WALLS & CEILINGS-----							
219. Remove Paneling Damage to paneling	136.00	SF 0.41	0.00	16.72	72.48	(0.00)	72.48
220. Apply anti-microbial agent to the walls Damage to drywall TREC Item	136.00	SF 0.31	5.14	12.80	60.10	(0.00)	60.10
221. 1/2" water rock (greenboard) hung, taped ready for texture Damage to drywall TREC Item	136.00	SF 3.03	7.97	126.02	546.07	(0.00)	546.07
222. Seal/prime then paint the walls and ceiling twice (3 coats) Damage to drywall TREC Item	152.50	SF 1.54	4.03	71.66	310.54	(0.00)	310.54
223a. Remove Baseboard - 3 1/4"	17.00	LF 0.61	0.00	3.12	13.49	(0.00)	13.49
223b. Baseboard - 3 1/4" Flooring is damaged and will not meet TREC and HQS requirements.	17.00	LF 4.31	2.65	22.78	98.70	(0.00)	98.70
224. Base shoe Flooring is damaged and will not meet TREC and HQS requirements.	17.00	LF 1.85	1.08	9.76	42.29	(0.00)	42.29
225. Seal & paint baseboard w/cap &/or shoe - two coats Flooring is damaged and will not meet TREC and HQS requirements.	17.00	LF 2.13	0.39	10.98	47.58	(0.00)	47.58
-----DOORS & WINDOWS-----							
226a. Remove Pocket door unit - Colonist	1.00	EA 32.93	0.00	9.88	42.81	(0.00)	42.81
226b. Pocket door unit - Colonist	1.00	EA 343.88	14.93	107.64	466.45	(0.00)	466.45
227. Paint door slab only - 2 coats (per side) Damage to door	2.00	EA 44.34	1.45	27.04	117.17	(0.00)	117.17
228. Paint door/window trim & jamb - 2 coats (per side) Damage to door	2.00	EA 37.55	0.92	22.82	98.84	(0.00)	98.84
-----PLUMBING-----							
229. Sink faucet - Bathroom Plumbing fixture is damaged and/or rusting.	1.00	EA 244.50	12.25	77.04	333.79	(0.00)	333.79
230. P-trap assembly - ABS (plastic) Plumbing fixture is damaged and/or rusting.	1.00	EA 75.31	0.69	22.80	98.80	(0.00)	98.80
231. Angle stop valve Plumbing fixture is damaged and/or rusting.	3.00	EA 45.96	3.09	42.28	183.25	(0.00)	183.25
232a. Remove Toilet	1.00	EA 32.93	0.00	9.88	42.81	(0.00)	42.81
232b. Toilet Plumbing fixture is damaged and/or rusting.	1.00	EA 584.05	27.05	183.34	794.44	(0.00)	794.44
233. Toilet flange Plumbing fixture is damaged and/or rusting.	1.00	EA 289.25	7.29	88.96	385.50	(0.00)	385.50
234. Toilet seat Plumbing fixture is damaged and/or rusting.	1.00	EA 61.03	2.60	19.08	82.71	(0.00)	82.71

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Bathroom 3

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
-----ELECTRICAL-----							
235a. Remove Light fixture	1.00	EA	10.97	0.00	3.30	14.27	<0.00> 14.27
235b. Light fixture	1.00	EA	85.85	2.72	26.58	115.15	<0.00> 115.15
Missing light cover							
ECR Totals:			157.97	1256.24	5,448.16		5,448.16
Totals: Bathroom 3			157.97	1,256.24	5,448.16	0.00	5,448.16



Laundry Room

Height: 8'

206.67 SF Walls	47.67 SF Ceiling
254.33 SF Walls & Ceiling	47.67 SF Floor
5.30 SY Flooring	25.33 LF Floor Perimeter
28.33 LF Ceil. Perimeter	

Missing Wall - Goes to Floor

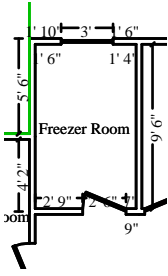
3' X 6' 8"

Opens into KITCHEN

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
-----WALLS & CEILINGS-----							
236. Seal/prime then paint the walls and ceiling twice (3 coats) Damage to drywall TREC Item	254.33	SF	1.54	6.71	119.52	517.90	(0.00) 517.90
-----FLOORING-----							
237. Remove Vinyl floor covering (sheet goods) Flooring is damaged and will not meet TREC and HQS requirements.	47.67	SF	1.21	0.00	17.30	74.98	(0.00) 74.98
238. Floor preparation for resilient flooring Flooring is damaged and will not meet TREC and HQS requirements.	47.67	SF	0.71	0.39	10.28	44.52	(0.00) 44.52
239. Vinyl floor covering (sheet goods) Flooring is damaged and will not meet TREC and HQS requirements. 10 % waste added for Vinyl floor covering (sheet goods).	52.43	SF	3.63	8.78	59.74	258.84	(0.00) 258.84
ECR Totals:			15.88	206.84	896.24		896.24
Totals: Laundry Room			15.88	206.84	896.24	0.00	896.24

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program



Freezer Room

Height: 8'

245.33 SF Walls	55.42 SF Ceiling
300.75 SF Walls & Ceiling	55.42 SF Floor
6.16 SY Flooring	30.67 LF Floor Perimeter
30.67 LF Ceil. Perimeter	

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
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ECR

-----WALLS & CEILINGS-----

240. 1/2" drywall - hung, taped, floated, ready for paint Damage to drywall TREC ITEM	30.67	SF	3.34	1.59	31.22	135.25	(0.00)	135.25
241. Apply anti-microbial agent to the surface area Damage to drywall TREC Item	68.00	SF	0.31	2.57	6.40	30.05	(0.00)	30.05
242a. Remove 1/2" drywall - hung, taped, floated, ready for paint	68.00	SF	0.55	0.00	11.22	48.62	(0.00)	48.62
242b. 1/2" drywall - hung, taped, floated, ready for paint Damage to drywall TREC ITEM	68.00	SF	3.34	3.53	69.20	299.85	(0.00)	299.85
243. Texture drywall - light hand texture	68.00	SF	1.34	0.39	27.46	118.97	<0.00>	118.97
244. Seal/prime then paint the walls and ceiling twice (3 coats) Damage to drywall TREC ITEM	300.75	SF	1.54	7.94	141.32	612.42	(0.00)	612.42
245a. Remove Baseboard - 3 1/4"	30.67	LF	0.61	0.00	5.62	24.33	(0.00)	24.33
245b. Baseboard - 3 1/4"	30.67	LF	4.31	4.78	41.10	178.07	(0.00)	178.07
246. Base shoe	30.67	LF	1.85	1.95	17.60	76.29	(0.00)	76.29
247. Seal & paint baseboard w/cap &/or shoe - two coats	30.67	LF	2.13	0.71	19.82	85.86	(0.00)	85.86

-----FLOORING-----

248. Remove Vinyl floor covering (sheet goods) Flooring is damaged and will not meet TREC and HQS requirements.	55.42	SF	1.21	0.00	20.12	87.18	(0.00)	87.18
249. Floor preparation for resilient flooring Flooring is damaged and will not meet TREC and HQS requirements.	55.42	SF	0.71	0.46	11.94	51.75	(0.00)	51.75
250. Vinyl floor covering (sheet goods) Flooring is damaged and will not meet TREC and HQS requirements. 10 % waste added for Vinyl floor covering (sheet goods).	60.96	SF	3.63	10.21	69.44	300.93	(0.00)	300.93

-----ELECTRICAL-----

251. Detach & Reset Light fixture Line item needed for rewire	4.00	EA	74.39	0.00	89.26	386.82	(0.00)	386.82
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ECR-NEW

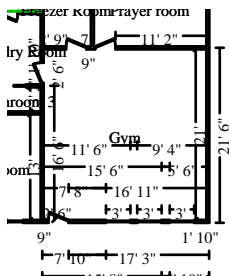
-----CONTRACTOR ADDITIONS-----

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Freezer Room

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV	
-----WALLS & CEILINGS-----								
416. 1/2" drywall - hung, taped, floated, ready for paint Crediting to adjust quantity TREC ITEM	30.67	SF	-3.34	-1.59	-31.22	-135.25	(0.00)	-135.25
417. Apply anti-microbial agent to the surface area Crediting to adjust quantity	68.00	SF	-0.31	-2.57	-6.40	-30.05	(0.00)	-30.05
420. Apply anti-microbial agent to the walls and ceiling Damage to sheet rock. TREC item	300.75	SF	0.31	11.37	28.34	132.94	(0.00)	132.94
418a. Remove 1/2" drywall - hung, taped, floated, ready for paint	68.00	SF	-0.55	0.00	-11.22	-48.62	(0.00)	-48.62
418b. 1/2" drywall - hung, taped, floated, ready for paint Crediting to adjust quantity TREC ITEM	68.00	SF	-3.34	-3.53	-69.20	-299.85	(0.00)	-299.85
421a. Remove 1/2" drywall - hung, taped, floated, ready for paint	300.75	SF	0.55	0.00	49.62	215.03	(0.00)	215.03
421b. 1/2" drywall - hung, taped, floated, ready for paint Damage to sheetrock TREC ITEM	300.75	SF	3.34	15.63	306.04	1,326.18	(0.00)	1,326.18
419. Texture drywall - light hand texture Crediting due to entire ceiling being replaced	68.00	SF	1.34	0.39	27.46	118.97	<0.00>	118.97
ECR Totals:			34.13	561.72	2,436.39		2,436.39	
ECR-NEW Totals:			19.70	293.42	1,279.35		1,279.35	
Totals: Freezer Room			53.83	855.14	3,715.74	0.00	3,715.74	



Gym

Height: 8'

656.00 SF Walls	420.00 SF Ceiling
1076.00 SF Walls & Ceiling	420.00 SF Floor
46.67 SY Flooring	82.00 LF Floor Perimeter
82.00 LF Ceil. Perimeter	

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
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ECR

-----WALLS & CEILINGS-----

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Gym

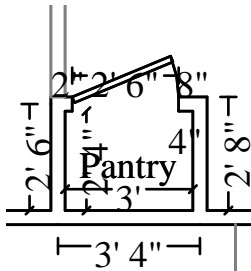
DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
252. 1/2" drywall - hung, taped, floated, ready for paint Damage to drywall TREC ITEM	82.00	SF 3.34	4.26	83.44	361.58	(0.00)	361.58
253. Apply anti-microbial agent to the surface area Damage to drywall TREC Item	68.00	SF 0.31	2.57	6.40	30.05	(0.00)	30.05
254a. Remove 1/2" drywall - hung, taped, floated, ready for paint	68.00	SF 0.55	0.00	11.22	48.62	(0.00)	48.62
254b. 1/2" drywall - hung, taped, floated, ready for paint Damage to drywall TREC ITEM	68.00	SF 3.34	3.53	69.20	299.85	(0.00)	299.85
255. Texture drywall - light hand texture	68.00	SF 1.34	0.39	27.46	118.97	<0.00>	118.97
256. Seal/prime then paint the walls and ceiling twice (3 coats) Damage to drywall TREC ITEM	1076.00	SF 1.54	28.41	505.64	2,191.09	(0.00)	2,191.09
257a. Remove Baseboard - 3 1/4"	82.00	LF 0.61	0.00	15.00	65.02	(0.00)	65.02
257b. Baseboard - 3 1/4"	82.00	LF 4.31	12.79	109.86	476.07	(0.00)	476.07
258. Base shoe	82.00	LF 1.85	5.21	47.08	203.99	(0.00)	203.99
259. Seal & paint baseboard w/cap &/or shoe - two coats	82.00	LF 2.13	1.89	52.96	229.51	(0.00)	229.51
-----HVAC-----							
260a. Remove Cold air return cover	1.00	EA 8.28	0.00	2.48	10.76	(0.00)	10.76
260b. Cold air return cover	1.00	EA 32.66	1.27	10.18	44.11	(0.00)	44.11
-----ELECTRICAL-----							
261. Detach & Reset Ceiling fan & light Line item needed for rewire	1.00	EA 264.94	0.00	79.48	344.42	(0.00)	344.42
262. Detach & Reset Light fixture Line item needed for rewire	4.00	EA 74.39	0.00	89.26	386.82	(0.00)	386.82
ECR-NEW							
-----CONTRACTOR ADDITIONS-----							
-----WALLS & CEILINGS-----							
422. Apply anti-microbial agent to the surface area Crediting to adjust quantity	68.00	SF -0.31	-2.57	-6.40	-30.05	(0.00)	-30.05
425. Apply anti-microbial agent to the ceiling TREC Item	420.00	SF 0.31	15.87	39.58	185.65	(0.00)	185.65
423a. Remove 1/2" drywall - hung, taped, floated, ready for paint	68.00	SF -0.55	0.00	-11.22	-48.62	(0.00)	-48.62

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Gym

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV	
423b. 1/2" drywall - hung, taped, floated, ready for paint Crediting to adjust quantity TREC ITEM	68.00	SF	-3.34	-3.53	-69.20	-299.85	(0.00)	-299.85
426a. Remove 1/2" drywall - hung, taped, floated, ready for paint	420.00	SF	0.55	0.00	69.30	300.30	(0.00)	300.30
426b. 1/2" drywall - hung, taped, floated, ready for paint Damaged sheetrock TREC Item	420.00	SF	3.34	21.83	427.38	1,852.01	(0.00)	1,852.01
424. Texture drywall - light hand texture Crediting due to whole ceiling being replaced	68.00	SF	-1.34	-0.39	-27.46	-118.97	<0.00>	-118.97
ECR Totals:			60.32	1109.66	4,810.86		4,810.86	
ECR-NEW Totals:			31.21	421.98	1,840.47		1,840.47	
Totals: Gym			91.53	1,531.64	6,651.33	0.00	6,651.33	



Pantry

Height: 8'

85.33 SF Walls	7.00 SF Ceiling
92.33 SF Walls & Ceiling	7.00 SF Floor
0.78 SY Flooring	10.67 LF Floor Perimeter
10.67 LF Ceil. Perimeter	

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV	
ECR								
-----DOORS & WINDOWS-----								
263a. Remove Interior door unit	1.00	EA	24.70	0.00	7.42	32.12	(0.00)	32.12
263b. Interior door unit	1.00	EA	328.27	21.11	104.82	454.20	(0.00)	454.20
Damage to door								
264. Door knob - interior	1.00	EA	46.41	1.77	14.46	62.64	(0.00)	62.64
Damage to door								
265. Paint door slab only - 2 coats (per side)	2.00	EA	44.34	1.45	27.04	117.17	(0.00)	117.17
Damage to door								
266. Paint door/window trim & jamb - 2 coats (per side)	2.00	EA	37.55	0.92	22.82	98.84	(0.00)	98.84
Damage to door								
ECR Totals:			25.25	176.56	764.97		764.97	

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

CONTINUED - Pantry

DESCRIPTION	QTY	UNIT PRICE	TAX	O&P	RCV	DEPREC.	ACV
Totals: Pantry			25.25	176.56	764.97	0.00	764.97
Area ECR Total:			2,266.72	21,158.26	91,890.77		91,890.77
Area ECR-NEW Total:			1,112.82	12,705.50	55,099.68		55,099.68
Totals: Level 1			3,379.54	33,863.76	146,990.45	0.00	146,990.45
Area ECR Total:			3,162.97	30,415.38	132,004.80		132,004.80
Area ECR-NEW Total:			1,527.29	17,359.82	75,268.26		75,268.26
Line Item Totals: COH-HOAP-19268_ECR			4,690.26	47,775.20	207,273.06	0.00	207,273.06

Grand Total Areas:

9,614.37 SF Walls	2,767.09 SF Ceiling	12,381.46 SF Walls and Ceiling
2,749.11 SF Floor	305.46 SY Flooring	1,219.67 LF Floor Perimeter
1,660.81 SF Long Wall	1,660.81 SF Short Wall	1,260.37 LF Ceil. Perimeter
2,749.11 Floor Area	2,973.94 Total Area	7,953.56 Interior Wall Area
2,940.80 Exterior Wall Area	298.67 Exterior Perimeter of Walls	
3,966.10 Surface Area	39.66 Number of Squares	342.14 Total Perimeter Length
130.00 Total Ridge Length	0.00 Total Hip Length	

Coverage	Item Total	%	ACV Total	%
ECR	132,004.80	63.69%	132,004.80	63.69%
ECR-NEW	75,268.26	36.31%	75,268.26	36.31%
Total	207,273.06	100.00%	207,273.06	100.00%

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

Summary for ECR

Line Item Total	98,426.45
Material Sales Tax	2,949.02
Cleaning Mtl Tax	6.51
	<hr/>
Subtotal	101,381.98
Overhead	15,207.69
Profit	15,207.69
Cleaning Sales Tax	207.44
	<hr/>
Replacement Cost Value	\$132,004.80
Net Claim	\$132,004.80
	<hr/> <hr/>

Joe Saltamacchia

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

Summary for ECR-NEW

Line Item Total	56,381.15
Material Sales Tax	1,479.81
Cleaning Mtl Tax	5.18
	<hr/>
Subtotal	57,866.14
Overhead	8,679.91
Profit	8,679.91
Cleaning Sales Tax	42.30
	<hr/>
Replacement Cost Value	\$75,268.26
Net Claim	\$75,268.26
	<hr/> <hr/>

Joe Saltamacchia

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

Recap of Taxes, Overhead and Profit

	Overhead (15%)	Profit (15%)	Material Sales Tax (8.25%)	Cleaning Mtl Tax (8.25%)	Cleaning Sales Tax (8.25%)	Manuf. Home Tax (5%)	Storage Rental Tax (8.25%)	Total Tax (8.25%)
Line Items	23,887.60	23,887.60	4,428.83	11.69	249.74	0.00	0.00	0.00
Total	23,887.60	23,887.60	4,428.83	11.69	249.74	0.00	0.00	0.00

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

Recap by Room

Estimate: COH-HOAP-19268_ECR

Front Elevation		4,383.28	2.83%
Coverage: ECR	32.25% =	1,413.75	
Coverage: ECR-NEW	67.75% =	2,969.53	
Right Elevation		7,334.15	4.74%
Coverage: ECR	74.18% =	5,440.40	
Coverage: ECR-NEW	25.82% =	1,893.75	
Rear Elevation		10,145.40	6.55%
Coverage: ECR	36.47% =	3,699.85	
Coverage: ECR-NEW	63.53% =	6,445.55	
Left Elevation		3,790.96	2.45%
Coverage: ECR-NEW	100.00% =	3,790.96	
Area: Roof			
Roof		19,406.66	12.54%
Coverage: ECR	100.00% =	19,406.66	
<hr/>		<hr/>	
Area Subtotal: Roof		19,406.66	12.54%
Coverage: ECR	100.00% =	19,406.66	
Area: Level 1		21,525.38	13.90%
Coverage: ECR	31.11% =	6,696.12	
Coverage: ECR-NEW	68.89% =	14,829.26	
Living Room		1,179.13	0.76%
Coverage: ECR	100.00% =	1,179.13	
Family Room		9,265.53	5.99%
Coverage: ECR	64.28% =	5,956.25	
Coverage: ECR-NEW	35.72% =	3,309.28	
Dining Room		1,081.53	0.70%
Coverage: ECR	89.00% =	962.52	
Coverage: ECR-NEW	11.00% =	119.01	
Breakfast Area/Room		1,827.85	1.18%
Coverage: ECR	45.09% =	824.25	
Coverage: ECR-NEW	54.91% =	1,003.60	
Kitchen		14,042.04	9.07%
Coverage: ECR	76.34% =	10,720.27	
Coverage: ECR-NEW	23.66% =	3,321.77	
Bedroom 1		3,665.02	2.37%
Coverage: ECR	100.00% =	3,665.02	
Closet A		659.98	0.43%
Coverage: ECR	100.00% =	659.98	
Closet B		659.98	0.43%
Coverage: ECR	100.00% =	659.98	
Bedroom 2		2,022.87	1.31%
Coverage: ECR	100.00% =	2,022.87	

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

Closet 2		243.89	0.16%
Coverage: ECR	100.00% =	243.89	
Bedroom 3		4,218.06	2.72%
Coverage: ECR	118.12% =	4,982.30	
Coverage: ECR-NEW	-18.12% =	-764.24	
Closet 3		96.82	0.06%
Coverage: ECR	100.00% =	96.82	
Bedroom 4		4,576.37	2.96%
Coverage: ECR	102.49% =	4,690.19	
Coverage: ECR-NEW	-2.49% =	-113.82	
Closet 4		96.82	0.06%
Coverage: ECR	100.00% =	96.82	
Foyer/Entry		1,837.40	1.19%
Coverage: ECR	61.48% =	1,129.70	
Coverage: ECR-NEW	38.52% =	707.70	
Office		3,550.34	2.29%
Coverage: ECR	75.13% =	2,667.25	
Coverage: ECR-NEW	24.87% =	883.09	
Prayer room		4,111.21	2.66%
Coverage: ECR	45.21% =	1,858.63	
Coverage: ECR-NEW	54.79% =	2,252.58	
Hallway		1,715.54	1.11%
Coverage: ECR	100.00% =	1,715.54	
Closet		436.48	0.28%
Coverage: ECR	100.00% =	436.48	
HVAC		13,370.15	8.64%
Coverage: ECR	4.21% =	563.16	
Coverage: ECR-NEW	95.79% =	12,806.99	
Bathroom 1		2,568.67	1.66%
Coverage: ECR	96.86% =	2,487.94	
Coverage: ECR-NEW	3.14% =	80.73	
Vanity Area/Room 1		457.38	0.30%
Coverage: ECR	100.00% =	457.38	
Bathroom 2		3,433.15	2.22%
Coverage: ECR	85.67% =	2,941.25	
Coverage: ECR-NEW	14.33% =	491.90	
Bathroom 3		4,033.95	2.61%
Coverage: ECR	100.00% =	4,033.95	
Laundry Room		673.52	0.44%
Coverage: ECR	100.00% =	673.52	
Freezer Room		2,806.77	1.81%
Coverage: ECR	65.58% =	1,840.54	
Coverage: ECR-NEW	34.42% =	966.23	
Gym		5,028.16	3.25%
Coverage: ECR	72.41% =	3,640.88	
Coverage: ECR-NEW	27.59% =	1,387.28	
Pantry		563.16	0.36%

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

Coverage: ECR	100.00% =	563.16	
<hr/>		<hr/>	
Area Subtotal: Level 1		109,747.15	70.89%
Coverage: ECR	62.39% =	68,465.79	
Coverage: ECR-NEW	37.61% =	41,281.36	
<hr/>		<hr/>	
Subtotal of Areas		154,807.60	100.00%
Coverage: ECR	63.58% =	98,426.45	
Coverage: ECR-NEW	36.42% =	56,381.15	
<hr/>		<hr/>	
Total		154,807.60	100.00%

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

Recap by Category

O&P Items			Total	%
APPLIANCES			2,658.27	1.28%
Coverage: ECR	@	100.00% =	2,658.27	
CABINETRY			10,106.06	4.88%
Coverage: ECR	@	78.92% =	7,975.70	
Coverage: ECR-NEW	@	21.08% =	2,130.36	
CLEANING			1,438.46	0.69%
Coverage: ECR	@	100.00% =	1,438.46	
CONCRETE & ASPHALT			948.75	0.46%
Coverage: ECR	@	100.00% =	948.75	
GENERAL DEMOLITION			12,676.65	6.12%
Coverage: ECR	@	70.97% =	8,996.42	
Coverage: ECR-NEW	@	29.03% =	3,680.23	
DOORS			4,248.44	2.05%
Coverage: ECR	@	93.30% =	3,963.90	
Coverage: ECR-NEW	@	6.70% =	284.54	
DRYWALL			13,128.85	6.33%
Coverage: ECR	@	56.56% =	7,425.58	
Coverage: ECR-NEW	@	43.44% =	5,703.27	
ELECTRICAL			19,754.60	9.53%
Coverage: ECR	@	25.96% =	5,128.51	
Coverage: ECR-NEW	@	74.04% =	14,626.09	
FLOOR COVERING - CERAMIC TILE			1,482.18	0.72%
Coverage: ECR	@	222.04% =	3,290.97	
Coverage: ECR-NEW	@	-122.04% =	-1,808.79	
FLOOR COVERING - VINYL			6,391.23	3.08%
Coverage: ECR	@	37.44% =	2,392.91	
Coverage: ECR-NEW	@	62.56% =	3,998.32	
FINISH CARPENTRY / TRIMWORK			3,901.40	1.88%
Coverage: ECR	@	87.90% =	3,429.16	
Coverage: ECR-NEW	@	12.10% =	472.24	
FINISH HARDWARE			547.36	0.26%
Coverage: ECR	@	100.00% =	547.36	
HEAT, VENT & AIR CONDITIONING			12,555.05	6.06%
Coverage: ECR	@	4.16% =	522.56	
Coverage: ECR-NEW	@	95.84% =	12,032.49	
INSULATION			4,205.98	2.03%
Coverage: ECR	@	100.00% =	4,205.98	
LIGHT FIXTURES			5,823.30	2.81%
Coverage: ECR	@	96.20% =	5,601.73	
Coverage: ECR-NEW	@	3.80% =	221.57	
MARBLE - CULTURED OR NATURAL			831.45	0.40%
Coverage: ECR	@	100.00% =	831.45	
PLUMBING			2,859.07	1.38%
Coverage: ECR	@	100.00% =	2,859.07	

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

O&P Items	Total	%
PAINTING	21,373.61	10.31%
Coverage: ECR @ 84.99% =	18,164.59	
Coverage: ECR-NEW @ 15.01% =	3,209.02	
ROOFING	15,954.95	7.70%
Coverage: ECR @ 100.00% =	15,954.95	
SIDING	2,653.84	1.28%
Coverage: ECR @ 60.33% =	1,601.12	
Coverage: ECR-NEW @ 39.67% =	1,052.72	
SOFFIT, FASCIA, & GUTTER	6,302.03	3.04%
Coverage: ECR-NEW @ 100.00% =	6,302.03	
STAIRS	399.25	0.19%
Coverage: ECR-NEW @ 100.00% =	399.25	
WINDOWS - ALUMINUM	1,341.94	0.65%
Coverage: ECR-NEW @ 100.00% =	1,341.94	
WINDOWS - VINYL	2,346.28	1.13%
Coverage: ECR-NEW @ 100.00% =	2,346.28	
WATER EXTRACTION & REMEDIATION	878.60	0.42%
Coverage: ECR @ 55.66% =	489.01	
Coverage: ECR-NEW @ 44.34% =	389.59	
O&P Items Subtotal	154,807.60	74.69%
Material Sales Tax	4,428.83	2.14%
Coverage: ECR @ 66.59% =	2,949.02	
Coverage: ECR-NEW @ 33.41% =	1,479.81	
Cleaning Mtl Tax	11.69	0.01%
Coverage: ECR @ 55.69% =	6.51	
Coverage: ECR-NEW @ 44.31% =	5.18	
Overhead	23,887.60	11.52%
Coverage: ECR @ 63.66% =	15,207.69	
Coverage: ECR-NEW @ 36.34% =	8,679.91	
Profit	23,887.60	11.52%
Coverage: ECR @ 63.66% =	15,207.69	
Coverage: ECR-NEW @ 36.34% =	8,679.91	
Cleaning Sales Tax	249.74	0.12%
Coverage: ECR @ 83.06% =	207.44	
Coverage: ECR-NEW @ 16.94% =	42.30	
Total	207,273.06	100.00%

Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

1 ECR-NEW - 1-Front Elevation

Date Taken: 8/16/2024

Taken By: Ducky

Overview



2 ECR-NEW - 2-Front Elevation

Date Taken: 8/16/2024

Taken By: Ducky

Moisture damage to fascia and soffit



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

- 3 ECR-NEW - 3-Front Elevation
Date Taken: 8/16/2024
Taken By: Ducky
Moisture damage to fascia and soffit



- 4 ECR-NEW - 4-Front Elevation
Date Taken: 8/16/2024
Taken By: Ducky
Moisture damage to fascia and soffit



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

5 ECR-NEW - 5-Right Elevation

Date Taken: 8/16/2024

Taken By: Ducky

Moisture damage to fascia, soffit, and wood siding.



6 ECR-NEW - 6-Right Elevation

Date Taken: 8/16/2024

Taken By: Ducky

Moisture damage to fascia, soffit, and wood siding.



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

7 ECR-NEW - 7-Right Elevation

Date Taken: 8/16/2024

Taken By: Ducky

Moisture damage to fascia, soffit, and wood siding.



8 ECR-NEW - 8-Right Elevation

Date Taken: 8/16/2024

Taken By: Ducky

Crack in bricks. Structural Assessment needed.



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

9 ECR-NEW - 9-Rear Elevation

Date Taken: 8/16/2024

Taken By: Ducky

Overview



10 ECR-NEW - 10-Rear Elevation

Date Taken: 8/16/2024

Taken By: Ducky

Overview



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

11 ECR-NEW - 11-Rear Elevation

Date Taken: 8/16/2024

Taken By: Ducky

Fascia and soffit have moisture damage.

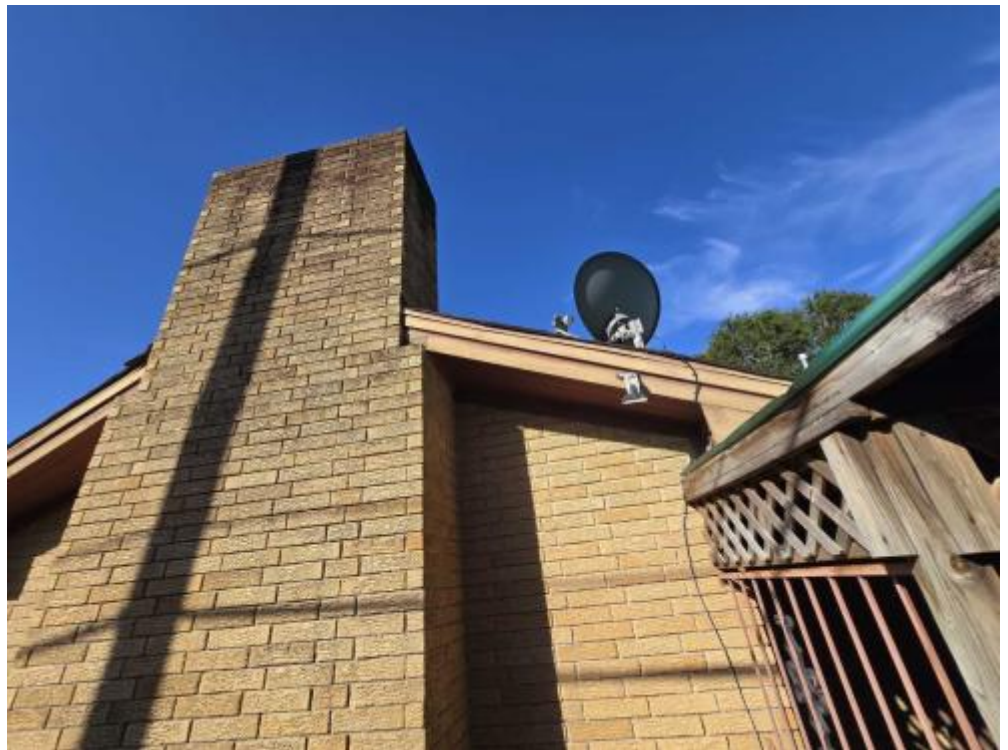


12 ECR-NEW - 12-Rear Elevation

Date Taken: 8/16/2024

Taken By: Ducky

Fascia and soffit have moisture damage.



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

13 ECR-NEW - 13-Rear Elevation

Date Taken: 8/16/2024

Taken By: Ducky

TREC- Item - Single pane window does not meet current energy code.



14 ECR-NEW - 14-Rear Elevation

Date Taken: 8/16/2024

Taken By: Ducky

TREC- Item - Single pane window does not meet current energy code.



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

15 ECR-NEW - 15-Rear Elevation

Date Taken: 8/16/2024

Taken By: Ducky

TREC- Item - Single pane window does not meet current energy code.



16 ECR-NEW - 16-Rear Elevation

Date Taken: 8/16/2024

Taken By: Ducky

TREC- Item - Single pane window does not meet current energy code.



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

17 ECR-NEW - 17-Rear Elevation

Date Taken: 8/16/2024

Taken By: Ducky

Rear deck with jacuzzi is an TREC item due to safety issue. Wood is not treated lumber and very deteriorated. Jacuzzi is not operational. Rodents have taken over the jacuzzi.



18 ECR-NEW - 18-Rear Elevation

Date Taken: 8/16/2024

Taken By: Ducky

Rear deck with jacuzzi is an TREC item due to safety issue. Wood is not treated lumber and very deteriorated. Jacuzzi is not operational. Rodents have taken over the jacuzzi.



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

19 ECR-NEW - 19-Rear Elevation

Date Taken: 8/16/2024

Taken By: Ducky

Rear deck with jacuzzi is an TREC item due to safety issue. Wood is not treated lumber and very deteriorated. Jacuzzi is not operational. Rodents have taken over the jacuzzi.



20 ECR-NEW - 20-Rear Elevation

Date Taken: 8/16/2024

Taken By: Ducky

Rear deck with jacuzzi is an TREC item due to safety issue. Wood is not treated lumber and very deteriorated. Jacuzzi is not operational. Rodents have taken over the jacuzzi.



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

21 ECR-NEW - 21-Rear Elevation

Date Taken: 8/16/2024

Taken By: Ducky

Rear deck with jacuzzi is an TREC item due to safety issue. Wood is not treated lumber and very deteriorated. Jacuzzi is not operational. Rodents have taken over the jacuzzi.



22 ECR-NEW - 22-Rear Elevation

Date Taken: 8/16/2024

Taken By: Ducky

Rear deck with jacuzzi is an TREC item due to safety issue. Wood is not treated lumber and very deteriorated. Jacuzzi is not operational. Rodents have taken over the jacuzzi.



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

23 ECR-NEW - 23-Rear Elevation

Date Taken: 8/16/2024

Taken By: Ducky

Rear deck with jacuzzi is an TREC item due to safety issue. Wood is not treated lumber and very deteriorated. Jacuzzi is not operational. Rodents have taken over the jacuzzi.



24 ECR-NEW - 24-Rear Elevation

Date Taken: 8/16/2024

Taken By: Ducky

Rear deck with jacuzzi is an TREC item due to safety issue. Wood is not treated lumber and very deteriorated. Jacuzzi is not operational. Rodents have taken over the jacuzzi.



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

25 ECR-NEW - 25-Rear Elevation

Date Taken: 8/16/2024

Taken By: Ducky



26 ECR-NEW - 26-Left Elevation

Date Taken: 8/16/2024

Taken By: Ducky

Overview



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

27 ECR-NEW - 27-Left Elevation

Date Taken: 8/16/2024

Taken By: Ducky

Moisture damage to fascia, soffit, and wood siding.



28 ECR-NEW - 28-Left Elevation

Date Taken: 8/16/2024

Taken By: Ducky

Moisture damage to fascia, soffit, and wood siding.



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

29 ECR-NEW - 29-Left Elevation

Date Taken: 8/16/2024

Taken By: Ducky

TREC- Item - Single pane window does not meet current energy code.

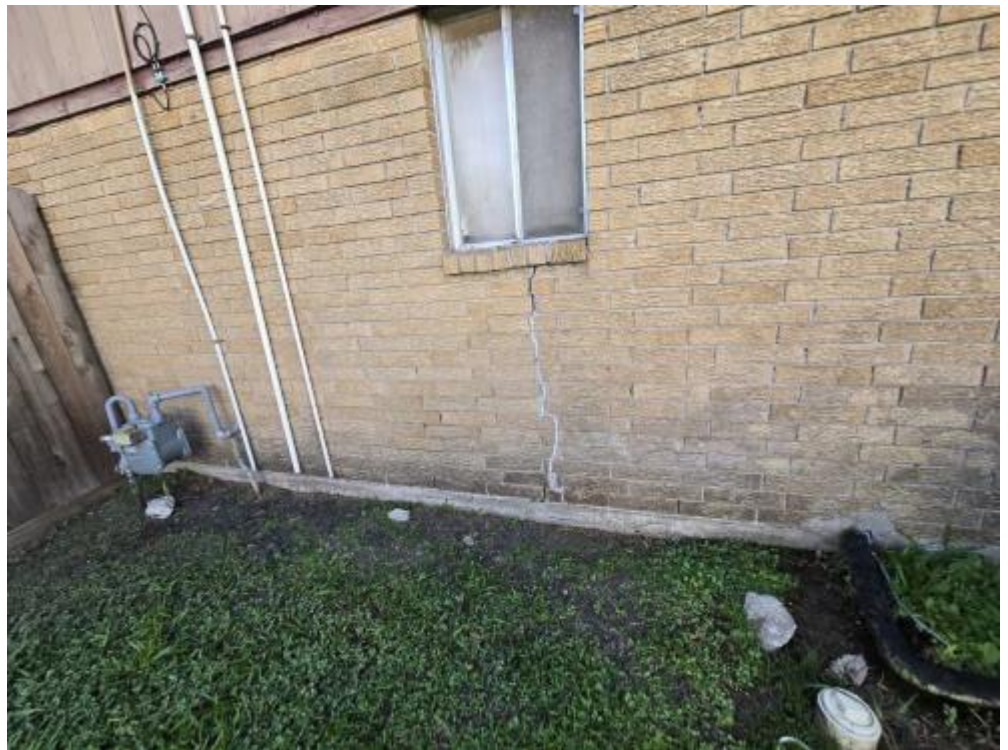


30 ECR-NEW - 30-Left Elevation

Date Taken: 8/16/2024

Taken By: Ducky

TREC- Item - Single pane window does not meet current energy code.



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

31 ECR-NEW - 31-Family

Date Taken: 8/16/2024

Taken By: Ducky

Overview



32 ECR-NEW - 32-Family

Date Taken: 8/16/2024

Taken By: Ducky

Overview



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

33 ECR-NEW - 33-Family

Date Taken: 8/16/2024

Taken By: Ducky

Overview



34 ECR-NEW - 34-Family

Date Taken: 8/16/2024

Taken By: Ducky

Detach and reset for ceiling repair



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

35 ECR-NEW - 35-Family

Date Taken: 8/16/2024

Taken By: Ducky

Detach and reset for ceiling repair



36 ECR-NEW - 36-Family

Date Taken: 8/16/2024

Taken By: Ducky

Detach and reset for ceiling repair



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

37 ECR-NEW - 37-Family

Date Taken: 8/16/2024

Taken By: Ducky

Detach and reset for ceiling repair



38 ECR-NEW - 38-Family

Date Taken: 8/16/2024

Taken By: Ducky

Water intrusion on ceiling. Multiple locations.



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

39 ECR-NEW - 39-Family

Date Taken: 8/16/2024

Taken By: Ducky

Water intrusion on ceiling. Multiple locations.



40 ECR-NEW - 40-Family

Date Taken: 8/16/2024

Taken By: Ducky

Water intrusion on ceiling. Multiple locations.



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

41 ECR-NEW - 41-Family

Date Taken: 8/16/2024

Taken By: Ducky

Water intrusion on ceiling. Multiple locations.



42 ECR-NEW - 42-Family

Date Taken: 8/16/2024

Taken By: Ducky

Water intrusion on ceiling. Multiple locations.



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

43 ECR-NEW - 43-Family

Date Taken: 8/16/2024

Taken By: Ducky

Water intrusion on ceiling. Multiple locations.



44 ECR-NEW - 44-Dining Room

Date Taken: 8/16/2024

Chandler needs to be detached and reset for rewire



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

- 45 ECR-NEW - 45-Breakfast
Area/Room
Date Taken: 8/16/2024
Taken By: Ducky
Overview



- 46 ECR-NEW - 46-Breakfast
Area/Room
Date Taken: 8/16/2024
Taken By: Ducky
Overview



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

- 47 ECR-NEW - 47-Breakfast
Area/Room
Date Taken: 8/16/2024
Taken By: Ducky
Overview



- 48 ECR-NEW - 48-Breakfast
Area/Room
Date Taken: 8/16/2024
Taken By: Ducky
Flooring overview



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

- 49 ECR-NEW - 49-Breakfast
Area/Room
Date Taken: 8/16/2024
Taken By: Ducky
Damage to flooring



- 50 ECR-NEW - 50-Kithcen
Date Taken: 8/16/2024
Taken By: Ducky
Overview of cabinets. ECR has wron
measurements.



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

51 ECR-NEW - 51-Kithcen

Date Taken: 8/16/2024

Taken By: Ducky

Overview of cabinets. ECR has wron measurements.



52 ECR-NEW - 52-Bedroom 3

Date Taken: 8/16/2024

Taken By: Ducky

Overview



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

53 ECR-NEW - 53-Bedroom 3

Date Taken: 8/16/2024

Taken By: Ducky

Overview



54 ECR-NEW - 54-Bedroom 3

Date Taken: 8/16/2024

Taken By: Ducky

Fan is not operating



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

55 ECR-NEW - 55-Bedroom 4

Date Taken: 8/16/2024

Taken By: Ducky

Overview



56 ECR-NEW - 56-Bedroom 4

Date Taken: 8/16/2024

Taken By: Ducky

Water intrusion on ceiling. Multiple locations.



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

57 ECR-NEW - 57-Bedroom 4

Date Taken: 8/16/2024

Taken By: Ducky

Water intrusion on ceiling. Multiple locations.



58 ECR-NEW - 58-Bedroom 4

Date Taken: 8/16/2024

Taken By: Ducky

Water intrusion on ceiling. Multiple locations.



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

59 ECR-NEW - 59-Bedroom 4

Date Taken: 8/16/2024

Taken By: Ducky

Water intrusion on ceiling. Multiple locations.



60 ECR-NEW - 60-Foyer/Entry

Date Taken: 8/16/2024

Taken By: Ducky

Overview



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

61 ECR-NEW - 61-Foyer/Entry

Date Taken: 8/16/2024

Taken By: Ducky

Flooring overview



62 ECR-NEW - 62-Foyer/Entry

Date Taken: 8/16/2024

Taken By: Ducky

Flooring damaged will not meet
TREC standards



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

63 ECR-NEW - 63-Foyer/Entry

Date Taken: 8/16/2024

Taken By: Ducky

Flooring damaged will not meet
TREC standards



64 ECR-NEW - 64-Office

Date Taken: 8/16/2024

Taken By: Ducky

Door to office is damaged and will
not operate correctly.



Estimated Cost of Repairs

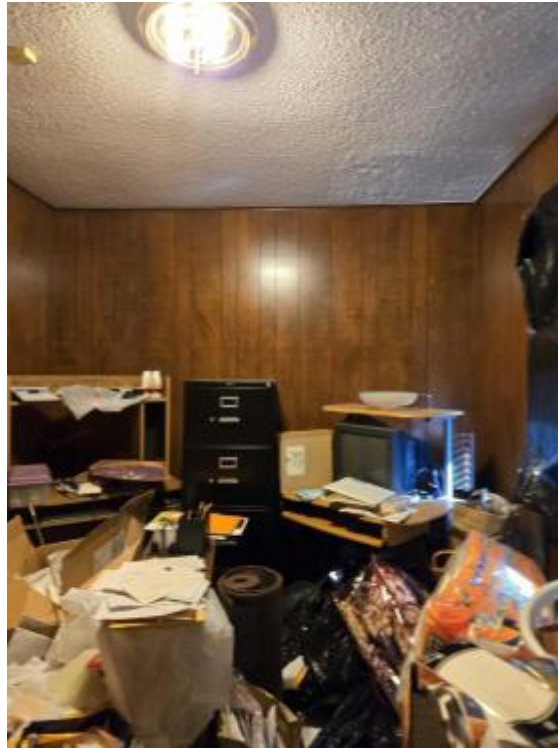
Texas General Land Office - Homeowner Assistance Program

65 ECR-NEW - 65-Office

Date Taken: 8/16/2024

Taken By: Ducky

Overview



66 ECR-NEW - 66-Office

Date Taken: 8/16/2024

Taken By: Ducky

Light fixture missing cover. Does not meet TREC standards



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

67 ECR-NEW - 67-Office

Date Taken: 8/16/2024

Taken By: Ducky

Water intrusion on ceiling. Multiple locations.



68 ECR-NEW - 68-Office

Date Taken: 8/16/2024

Taken By: Ducky

Water intrusion on ceiling. Multiple locations.



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

69 ECR-NEW - 69-Office

Date Taken: 8/16/2024

Taken By: Ducky

Water intrusion on ceiling. Multiple locations.



70 ECR-NEW - 70-Office

Date Taken: 8/16/2024

Taken By: Ducky

Water intrusion on ceiling. Multiple locations.



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

71 ECR-NEW - 71-Office

Date Taken: 8/16/2024

Taken By: Ducky

Water intrusion on ceiling. Multiple locations.



72 ECR-NEW - 72-Office

Date Taken: 8/16/2024

Taken By: Ducky

Window is being changed on rear elevation.



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

73 ECR-NEW - 73-Prayer Room

Date Taken: 8/16/2024

Taken By: Ducky

Overview

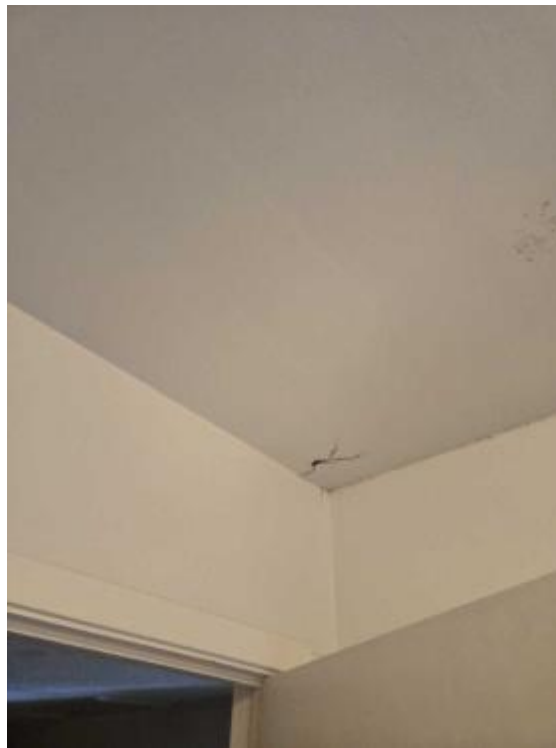


74 ECR-NEW - 74-Prayer Room

Date Taken: 8/16/2024

Taken By: Ducky

Water intrusion on ceiling. Multiple locations.



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

75 ECR-NEW - 75-Prayer Room

Date Taken: 8/16/2024

Taken By: Ducky

Water intrusion on ceiling. Multiple locations.



76 ECR-NEW - 76-Prayer Room

Date Taken: 8/16/2024

Taken By: Ducky

Water intrusion on ceiling. Multiple locations.



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

77 ECR-NEW - 77-Prayer Room

Date Taken: 8/16/2024

Taken By: Ducky

Water intrusion on ceiling. Multiple locations.



78 ECR-NEW - 78-Prayer Room

Date Taken: 8/16/2024

Taken By: Ducky

Exterior wall damaged from house shifting



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

79 ECR-NEW - 79-Prayer Room

Date Taken: 8/16/2024

Taken By: Ducky

Exterior wall damaged from house shifting



80 ECR-NEW - 80-Prayer Room

Date Taken: 8/16/2024

Taken By: Ducky



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

81 ECR-NEW - 81-Prayer Room

Date Taken: 8/16/2024

Taken By: Ducky

Flooring damaged does not meet
TREC standards



82 ECR-NEW - 82-HVAC

Date Taken: 7/19/2024

HVAC needs to be replaced. HVAC
system full of black substance and is
not up to TREC standards



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

83 ECR-NEW - 83-HVAC

Date Taken: 7/19/2024

HVAC needs to be replaced. HVAC system full of black substance and is not up to TREC standards



84 ECR-NEW - 84-HVAC

Date Taken: 7/19/2024

HVAC needs to be replaced. HVAC system full of black substance and is not up to TREC standards



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

85 ECR-NEW - 85-HVAC

Date Taken: 7/19/2024

HVAC needs to be replaced. HVAC system full of black substance and is not up to TREC standards



86 ECR-NEW - 86-HVAC

Date Taken: 7/19/2024

HVAC needs to be replaced. HVAC system full of black substance and is not up to TREC standards



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

87 ECR-NEW - 87-HVAC

Date Taken: 7/19/2024

HVAC needs to be replaced. HVAC system full of black substance and is not up to TREC standards



88 ECR-NEW - 88-HVAC

Date Taken: 7/19/2024

HVAC needs to be replaced. HVAC system full of black substance and is not up to TREC standards



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

89 ECR-NEW - 89-HVAC

Date Taken: 7/19/2024

HVAC needs to be replaced. HVAC system full of black substance and is not up to TREC standards

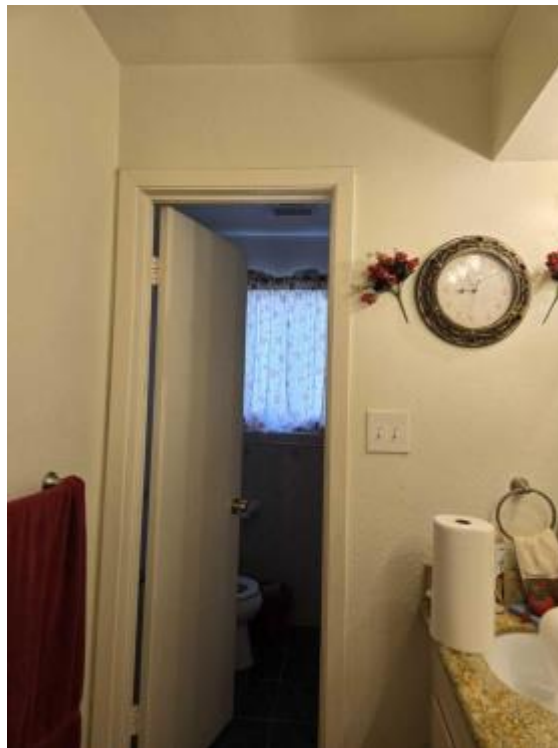


90 ECR-NEW - 90-Bathroom 2

Date Taken: 8/16/2024

Taken By: Ducky

Overview



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

91 ECR-NEW - 91-Bathroom 2

Date Taken: 8/16/2024

Taken By: Ducky

Ceiling has moisture damage from water intrusion



92 ECR-NEW - 92-Bathroom 2

Date Taken: 8/16/2024

Taken By: Ducky

Ceiling has moisture damage from water intrusion



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

93 ECR-NEW - 93-Bathroom 2

Date Taken: 8/16/2024

Taken By: Ducky

Tub/shower not up to TREC standards



94 ECR-NEW - 94-Bathroom 2

Date Taken: 8/16/2024

Taken By: Ducky

Tub/shower not up to TREC standards



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

95 ECR-NEW - 95-Bathroom 2

Date Taken: 8/16/2024

Taken By: Ducky

Tub/shower not up to TREC standards



96 ECR-NEW - 96-Bathroom 2

Date Taken: 8/16/2024

Taken By: Ducky

Tub/shower not up to TREC standards



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

97 ECR-NEW - 97-Bathroom 2

Date Taken: 8/16/2024

Taken By: Ducky

Tub/shower not up to TREC standards



98 ECR-NEW - 98-Freezer Room

Date Taken: 8/16/2024

Taken By: Ducky

Overview



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

99 ECR-NEW - 99-Freezer Room

Date Taken: 8/16/2024

Taken By: Ducky

Ceiling has moisture damage from water intrusion



100 ECR-NEW - 100-Freezer Room

Date Taken: 8/16/2024

Taken By: Ducky

Ceiling has moisture damage from water intrusion



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

101 ECR-NEW - 101-Freezer Room

Date Taken: 8/16/2024

Taken By: Ducky

Ceiling has moisture damage from water intrusion



102 ECR-NEW - 102-Freezer Room

Date Taken: 8/16/2024

Taken By: Ducky

Walls are damaged from house shifting



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

103 ECR-NEW - 103-Freezer Room

Date Taken: 8/16/2024

Taken By: Ducky

Ceiling has moisture damage from water intrusion



104 ECR-NEW - 104-Freezer Room

Date Taken: 8/16/2024

Taken By: Ducky

Ceiling has moisture damage from water intrusion



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

105 ECR-NEW - 105-Freezer Room

Date Taken: 8/16/2024

Taken By: Ducky

Ceiling has moisture damage from water intrusion



106 ECR-NEW - 106-Freezer Room

Date Taken: 8/16/2024

Taken By: Ducky

Walls are damaged from house shifting



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

107 ECR-NEW - 107-Freezer Room

Date Taken: 8/16/2024

Taken By: Ducky

Walls are damaged from house shifting

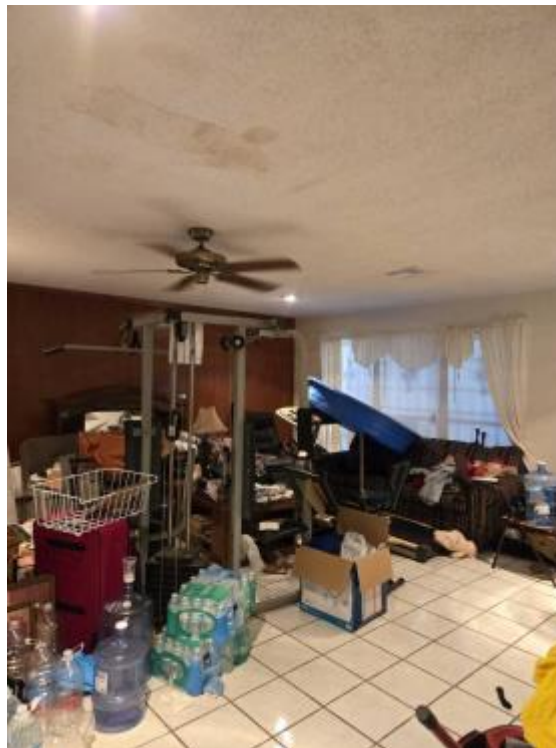


108 ECR-NEW - 108-Gym

Date Taken: 8/16/2024

Taken By: Ducky

Overview



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

109 ECR-NEW - 109-Gym

Date Taken: 8/16/2024

Taken By: Ducky

Overview



110 ECR-NEW - 110-Gym

Date Taken: 8/16/2024

Taken By: Ducky

Overview



Estimated Cost of Repairs

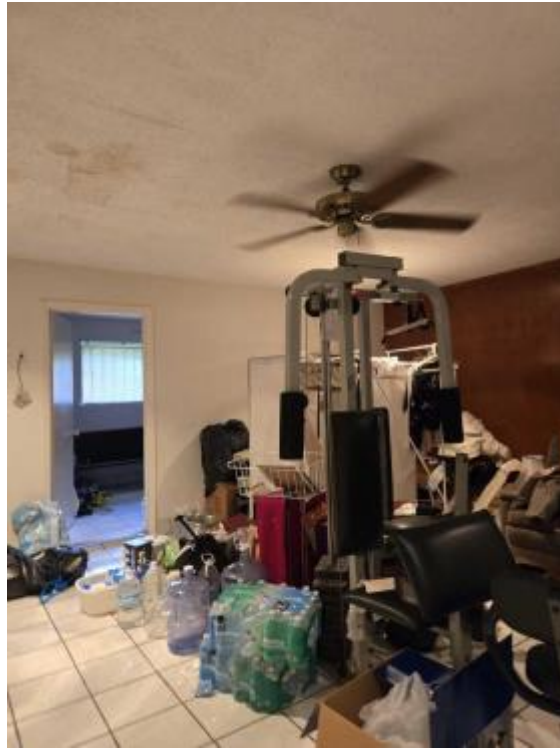
Texas General Land Office - Homeowner Assistance Program

111 ECR-NEW - 111-Gym

Date Taken: 8/16/2024

Taken By: Ducky

Overview



112 ECR-NEW - 112-Gym

Date Taken: 8/16/2024

Taken By: Ducky

Water intrusion on ceiling. Multiple locations.



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

113 ECR-NEW - 113-Gym

Date Taken: 8/16/2024

Taken By: Ducky

Water intrusion on ceiling. Multiple locations.



114 ECR-NEW - 114-Gym

Date Taken: 8/16/2024

Taken By: Ducky

Water intrusion on ceiling. Multiple locations.



Estimated Cost of Repairs

Texas General Land Office - Homeowner Assistance Program

115 ECR-NEW - 115-Gym

Date Taken: 8/16/2024

Taken By: Ducky

Water intrusion on ceiling. Multiple locations.



