

CERTIFICATE OF APPROPRIATENESS

Applicant: Connor Noud, owner; Sam Gianukos, agent

Property: 707 E. 5th½ Street, Lots 2 and 9, Block 4, Freeland Subdivision. Includes a 1,293 SF, one-story wood frame with brick veneer house and detached garage on a 6,250 square foot (50' x 125') interior lot.

Significance: Contributing Bungalow residence, constructed circa 1935

Proposal: Alteration – addition to main house

- 2- story rear addition located almost entirely behind the existing house
- Connected to the previously approved, but unbuilt, 2-story garage apartment

See project details in attachment A

Public Comment: No public comment received.

Civic Association: No comment received.

Recommendation: Approval with condition that the garage be narrowed by 2' so that the east wall is at the 5' property line, in line with the addition.

HAHC Action: -

All materials in exterior walls, including windows, siding, framing lumber, and interior shiplap must be retained except where removal or replacement has been explicitly approved by HAHC. Shiplap is an integral structural component of the exterior wall assembly in balloon framed structures and its removal can cause torqueing, twisting and collapse of exterior walls. Shiplap may be carefully shored and removed in small portions to insulate, run wire or plumbing, and should be replaced when the work is complete. Maintenance and minor in-kind repairs of exterior materials may be undertaken without HAHC approval, but if extensive damage of any exterior wall element is encountered during construction, contact staff before removing or replacing the materials. A revised COA may be required.

CERTIFICATE OF APPROPRIATENESS

Basis for Issuance:

Effective:



PLANNING & DEVELOPMENT DEPARTMENT

COA valid for two years from effective date. COA is in addition to any other permits or approvals required by municipal, state and federal law. Permit plans must be stamped by Planning & Development Department for COA compliance prior to submitting for building or sign permits. Any revisions to the approved project scope may require a new COA.

APPROVAL CRITERIA

ALTERATIONS, REHABILITATIONS, RESTORATIONS AND ADDITIONS

Sec. 33-241: HAHC shall issue a certificate of appropriateness for the alteration, rehabilitation, restoration or addition of an exterior feature of (i) any landmark, (ii) protected landmark, (iii) any building, structure or object that is part of an archaeological site, or (iv) contributing building in a historic district upon finding that the application satisfies the following criteria, as applicable:

| S | D | NA | S - satisfies | D - does not satisfy | NA - not applicable |
|-------------------------------------|--------------------------|-------------------------------------|----------------------|---|----------------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (1) | The proposed activity must retain and preserve the historical character of the property; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (2) | The proposed activity must contribute to the continued availability of the property for a contemporary use; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (3) | The proposed activity must recognize the building, structure, object or site as a product of its own time and avoid alterations that seek to create an earlier or later appearance; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (4) | The proposed activity must preserve the distinguishing qualities or character of the building, structure, object or site and its environment; | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | (5) | The proposed activity must maintain or replicate distinctive stylistic exterior features or examples of skilled craftsmanship that characterize the building, structure, object or site; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (6) | New materials to be used for any exterior feature excluding what is visible from public alleys must be visually compatible with, but not necessarily the same as, the materials being replaced in form, design, texture, dimension and scale; | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | (7) | The proposed replacement of exterior features, if any, should be based on an accurate duplication of features, substantiated by available historical, physical or pictorial evidence, where that evidence is available, rather than on conjectural designs or the availability of different architectural elements from other structures; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (8) | Proposed additions or alterations must be done in a manner that, if removed in the future, would leave unimpaired the essential form and integrity of the building, structure, object or site; | |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | (9) | The proposed design for any exterior alterations or addition must not destroy significant historical, architectural, archaeological or cultural material, including but not limited to siding, windows, doors and porch elements; | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (10) | The proposed alteration or addition must be compatible with the massing, size, scale material and character of the property and the context area; and | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | (11) | The distance from the property line to the front and side walls, porches, and exterior features of any proposed addition or alteration must be compatible with the distance to the property line of similar elements of existing contributing structures in the context area. | |

INVENTORY PHOTO



CURRENT PHOTO



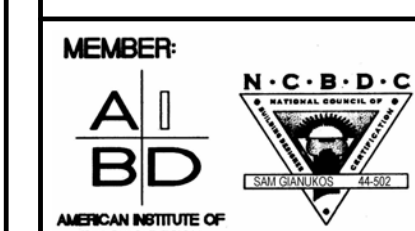
Please see attached plans for details

DRAFT



CREOLE
DESIGN L.L.C.

505 MERRILL STREET
Houston, TX 77009
PH: 713.880.3158



THIS DRAWING, & RELATED DOCUMENTS, REMAIN THE PROPERTY OF CREOLE DESIGN & ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT FROM CREOLE DESIGN.

COPYRIGHT 2025
ALL RIGHTS RESERVED

| Revision No. | Date | Description |
|--------------|------|-------------|
| | | Issued by |

Connor Noud Addition
707 EAST 5TH 1/2 STREET
HOUSTON, TX 77007

Drawing Date: 01/10/2025
Drawn: WD
Checked: SG

NOT FOR CONSTRUCTION FOR REVIEW ONLY

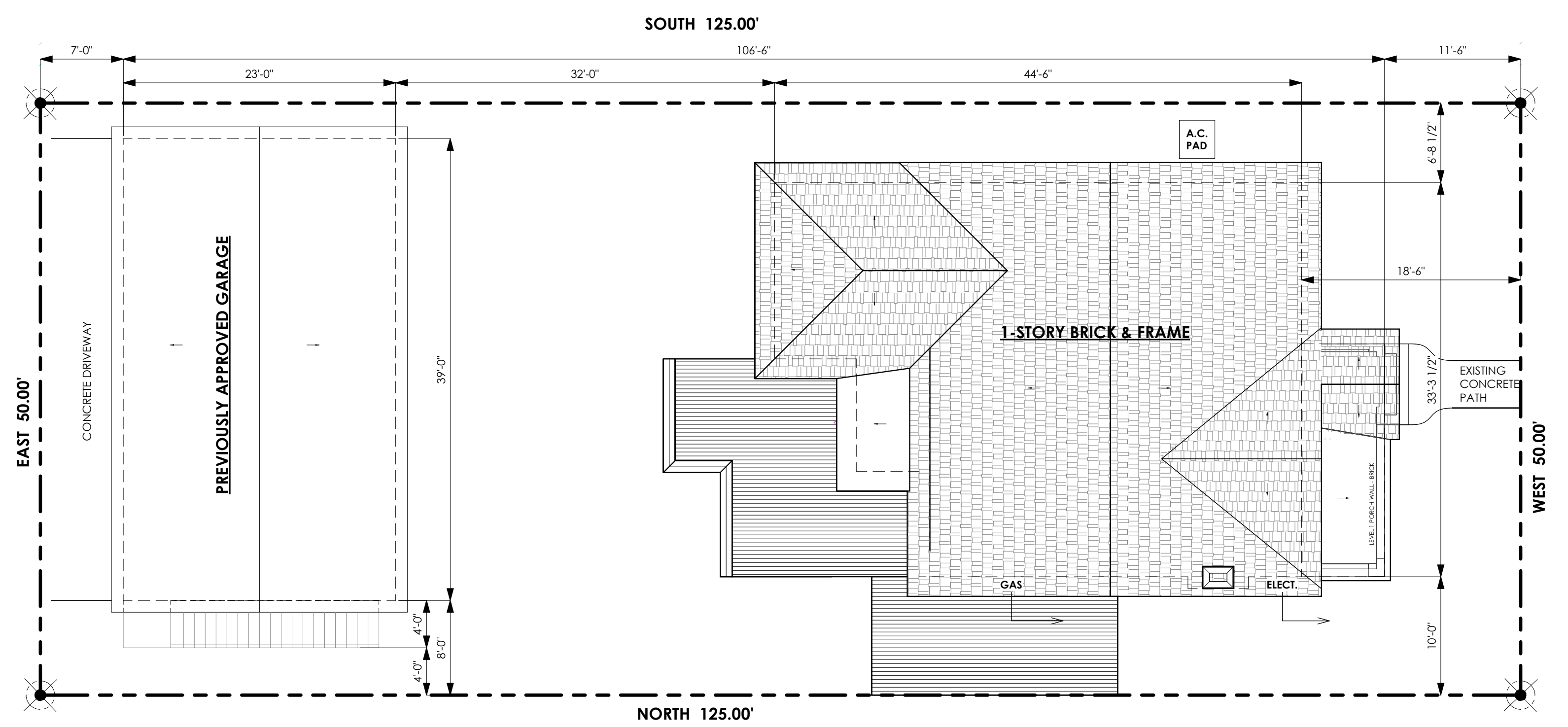
Project No: 000000

SHEET TITLE

SITE PLANS

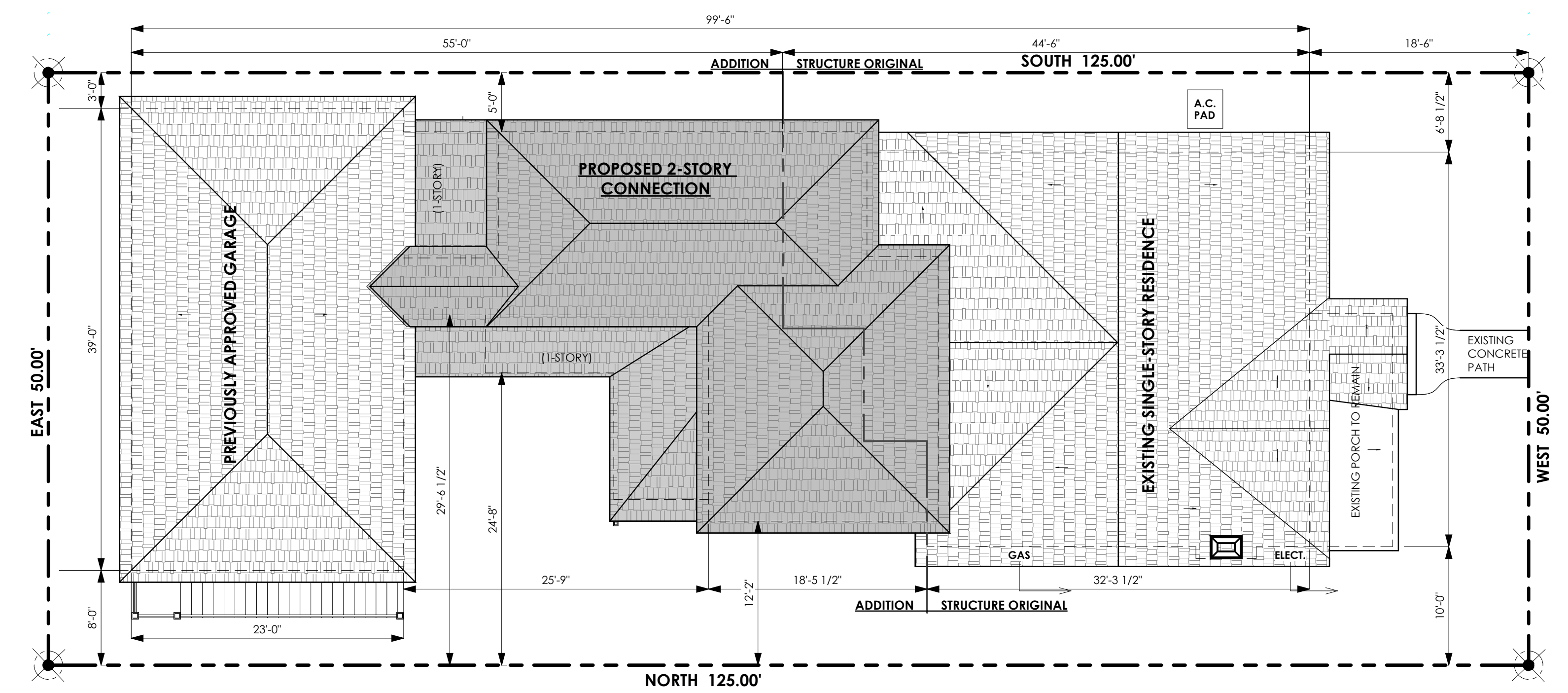
SHEET NO.

H0.1



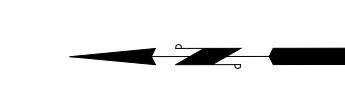
EXISTING SITE PLAN
Scale: 1/8" = 1'-0"

| EXISTING CALCULATIONS OF IMPERVIOUS PERCENTAGE | |
|--|----------|
| HOUSE / GARAGE | 2,341 SF |
| DRIVEWAY / SIDEWALK | 273 SF |
| TOTAL OF IMPERVIOUS COVER | 2,614 SF |
| LOT AREA | 6,250 SF |
| PERCENTAGE OF IMPERVIOUS AREA | 41.8% |



PROPOSED SITE PLAN
Scale: 1/8" = 1'-0"

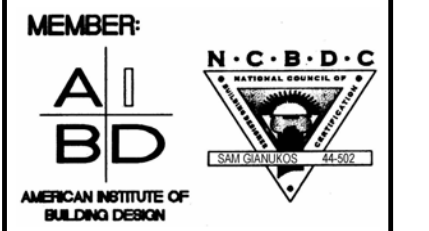
| PROPOSED CALCULATIONS OF IMPERVIOUS PERCENTAGE | |
|--|----------|
| HOUSE / GARAGE | 3,106 SF |
| DRIVEWAY / SIDEWALK | 273 SF |
| TOTAL OF IMPERVIOUS COVER | 3,379 SF |
| LOT AREA | 6,250 SF |
| PERCENTAGE OF IMPERVIOUS AREA | 54.0% |





**CREOLE
DESIGN L.L.C.**

505 MERRILL STREET
Houston, TX 77009
PH: 713.880.3158



THIS DRAWING, & RELATED DOCUMENTS, REMAIN THE PROPERTY OF CREOLE DESIGN & ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT FROM CREOLE DESIGN.

COPYRIGHT 2025
ALL RIGHTS RESERVED

| Revision No. | Date | Description |
|--------------|------|-------------|
| | | |
| | | |
| | | |
| | | |

Connor Noud Addition
707 EAST 5TH 1/2 STREET
HOUSTON, TX 77007

Drawing Date: 01/10/2025
Drawn: WD
Checked: SG

NOT FOR CONSTRUCTION FOR REVIEW ONLY

Project No: 000000

SHEET TITLE
FLOOR PLANS

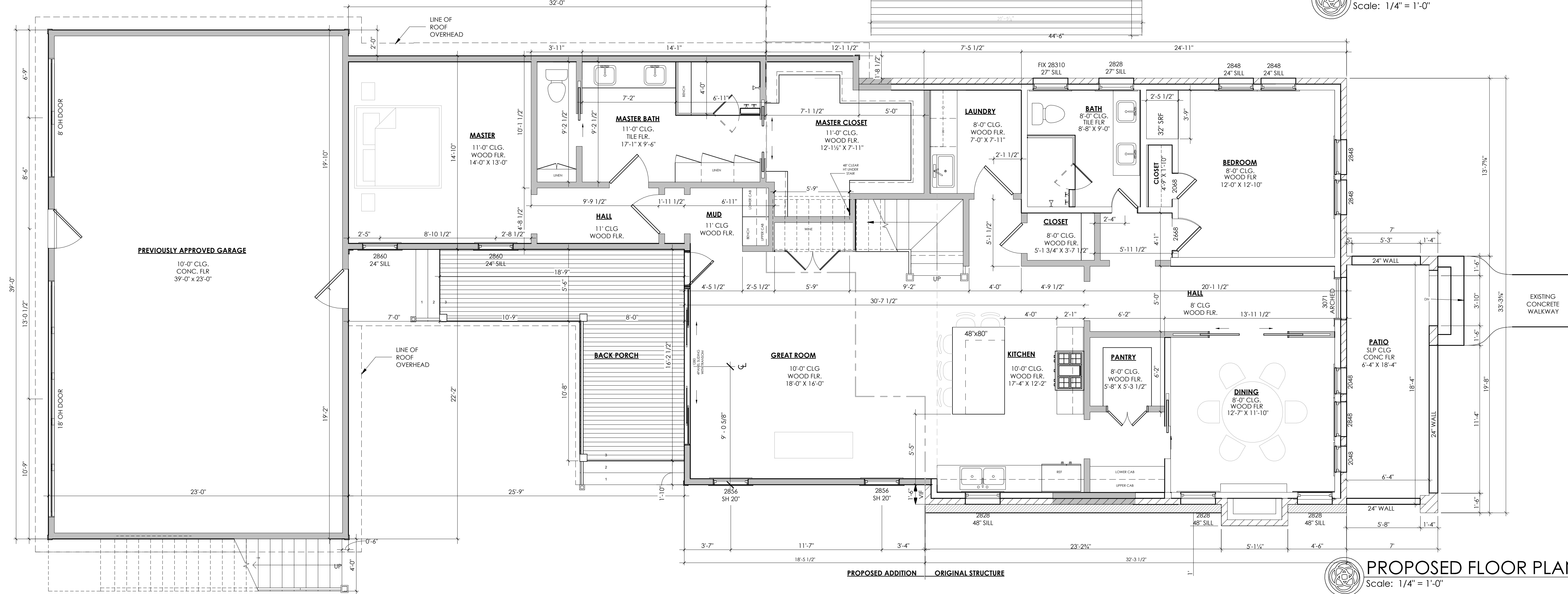
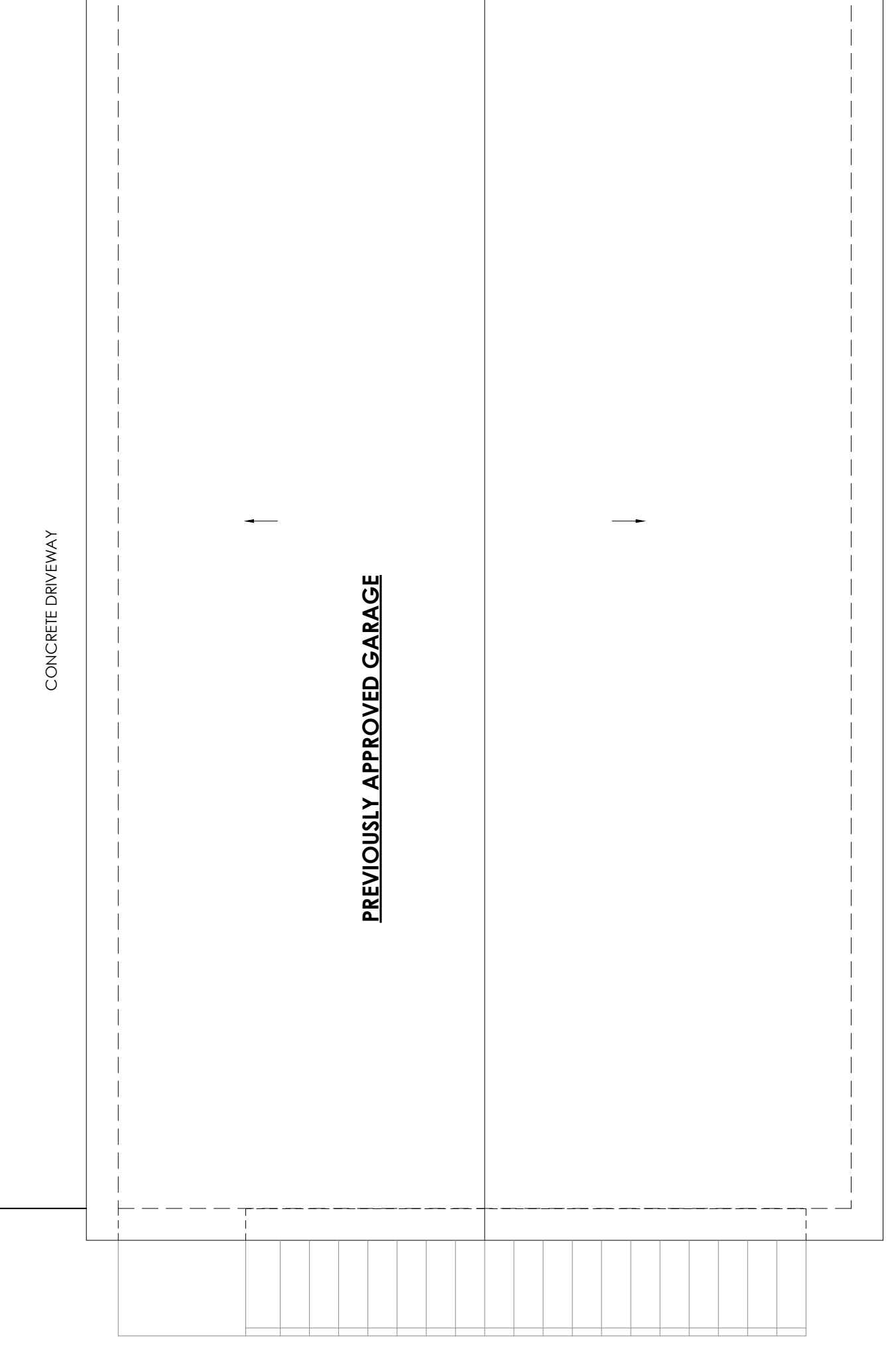
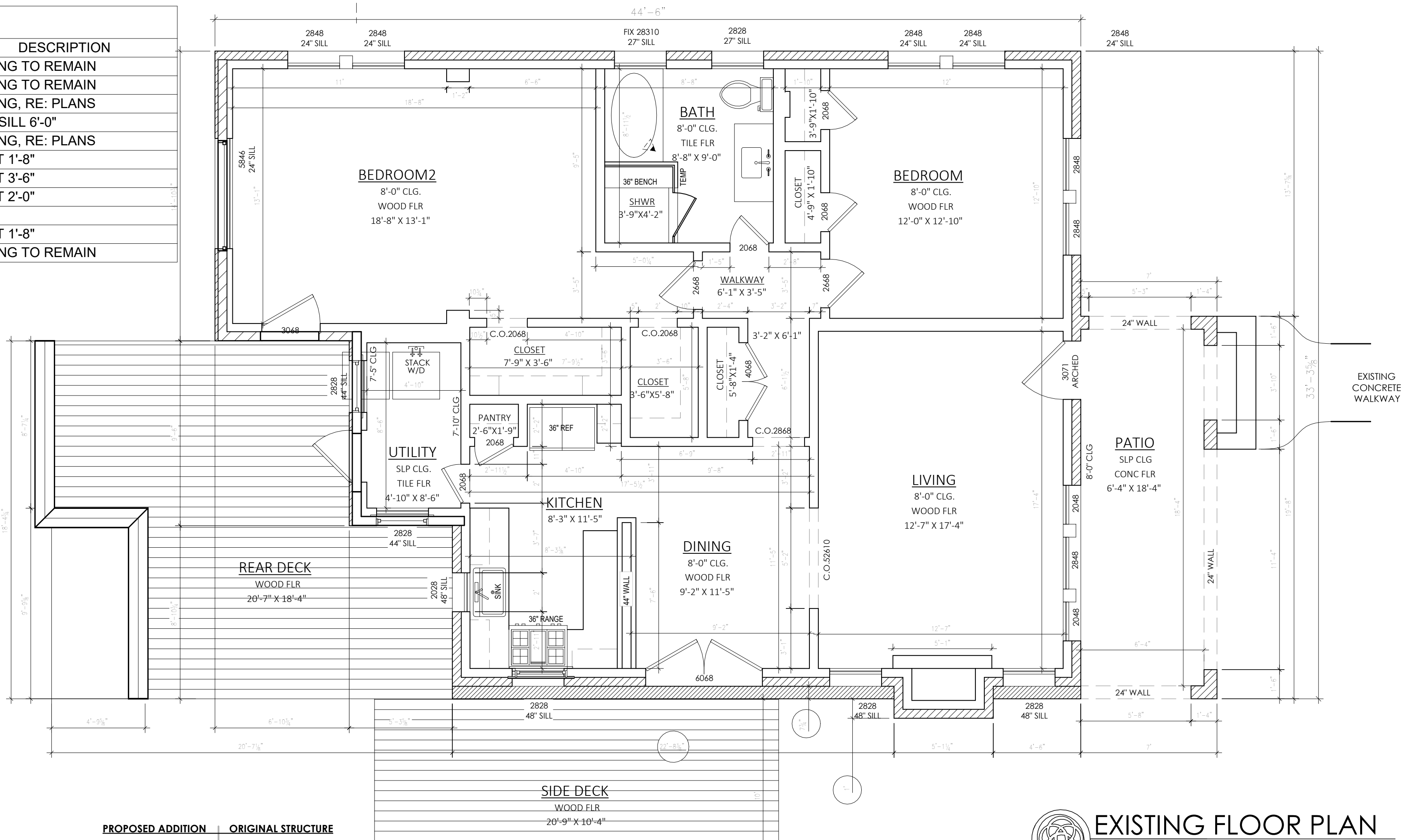
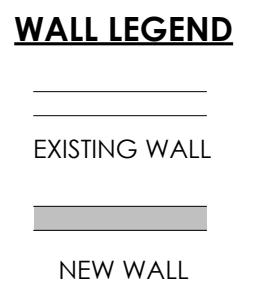
SHEET NO.

H1.1

| WINDOW SCHEDULE | | | | |
|-----------------|------|---------|---------|---------------------|
| MARK | QTY. | WIDTH | HEIGHT | DESCRIPTION |
| A | 7 | 2' - 8" | 4' - 8" | EXISTING TO REMAIN |
| B | 2 | 2' - 0" | 4' - 8" | EXISTING TO REMAIN |
| C | 7 | 2' - 8" | 2' - 8" | EXISTING, RE: PLANS |
| CC | 2 | 2' - 8" | 1' - 2" | FIXED SILL 6'-0" |
| D | 1 | 5' - 8" | 5' - 0" | EXISTING, RE: PLANS |
| E | 21 | 2' - 8" | 5' - 6" | SILL HT 1'-8" |
| F | 1 | 2' - 8" | 3' - 8" | SILL HT 3'-6" |
| G | 2 | 2' - 8" | 6' - 0" | SILL HT 2'-0" |
| H | 1 | 1' - 3" | 2' - 2" | GABLE |
| K | 1 | 2' - 8" | 5' - 6" | SILL HT 1'-8" |
| L | 1 | 2' - 8" | 4' - 8" | EXISTING TO REMAIN |

Grand total: 46

| AREA STATEMENT | | | |
|------------------------|-----------------|------------------|-----------------|
| | EXISTING | +/- | PROPOSED |
| FIRST FLOOR: | 1,296 SF | +745 SF | 2,044 SF |
| SECOND FLOOR: | N/A | +1,726 SF | 1,726 SF |
| TOTAL HEATED: | 1,296 SF | +2,471 SF | 3,770 SF |
| FRONT PORCH: | 148 SF | N/A | 148 SF |
| SIDE PORCH: | 204 SF | -204 SF | 0 SF |
| BACK PORCH: | 279 SF | -84 SF | 195 SF |
| GARAGE: | N/A | +897 SF | 897 SF |
| GARAGE STAIR: | N/A | +90 SF | 84 SF |
| TOTAL UNHEATED: | 631 SF | +699 SF | 1,330 SF |
| TOTAL COVERED: | 1,927 SF | +3,173 SF | 5,100 SF |



PREVIOUSLY APPROVED GARAGE

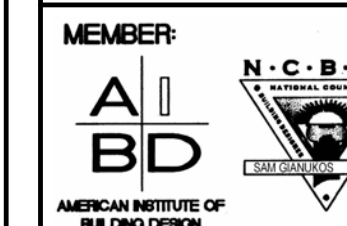
PREVIOUSLY APPROVED GARAGE
10'-0" CLG.
CONC. FLR
39'-0" X 23'-0"

PREVIOUSLY APPROVED GARAGE



CREOLE
DESIGN L.L.C.

505 MERRILL STREET
Houston, TX 77009
PH: 713.880.3158



THIS DRAWING, & RELATED DOCUMENTS, REMAIN THE PROPERTY OF CREOLE DESIGN & ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT FROM CREOLE DESIGN.

COPYRIGHT 2025
ALL RIGHTS RESERVED

| Revision No. | Date | Description |
|--------------|------|-------------|
| | | Issued by |

Connor Noud Addition
707 EAST 5TH 1/2 STREET
HOUSTON, TX 77007

Drawing Date: 01/10/2025
Drawn: WD
Checked: SG

NOT FOR
CONSTRUCTION
FOR REVIEW
ONLY

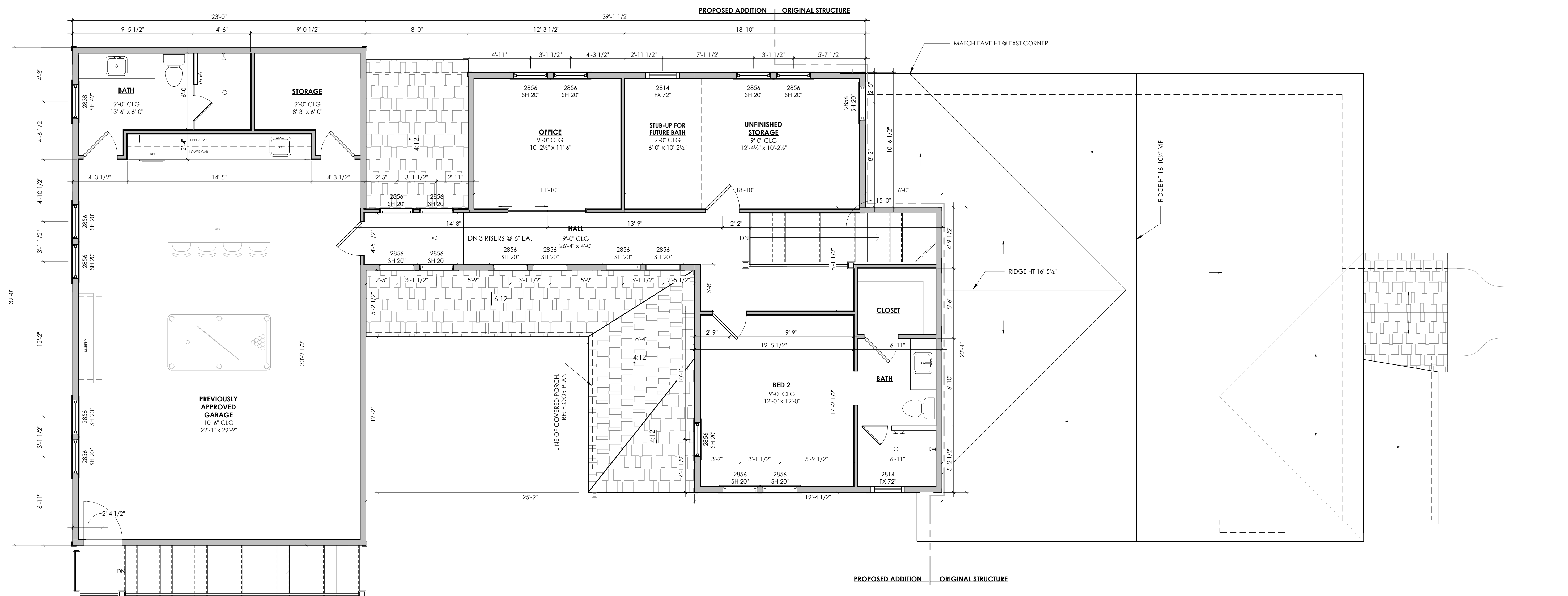
Project No: 000000

SHEET TITLE

FLOOR
PLANS

SHEET NO.

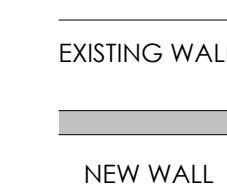
H1.2



PROPOSED FLOOR PLAN LEVEL 2
Scale: 1/4" = 1'-0"

| AREA STATEMENT | | |
|------------------------|-----------------|-----------------|
| | EXISTING | PROPOSED |
| FIRST FLOOR: | 1,296 SF | 2,044 SF |
| SECOND FLOOR: | N/A | 1,726 SF |
| TOTAL HEATED: | 1,296 SF | 3,770 SF |
| FRONT PORCH: | 148 SF | 148 SF |
| SIDE PORCH: | 204 SF | 0 SF |
| BACK PORCH: | 279 SF | 195 SF |
| GARAGE: | N/A | 897 SF |
| GARAGE STAIR: | N/A | 84 SF |
| TOTAL UNHEATED: | 631 SF | 1,330 SF |
| TOTAL COVERED: | 1,927 SF | 5,100 SF |

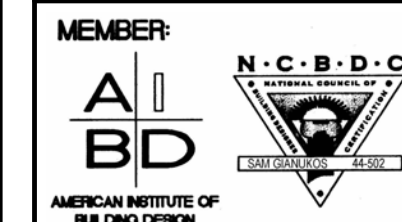
WALL LEGEND





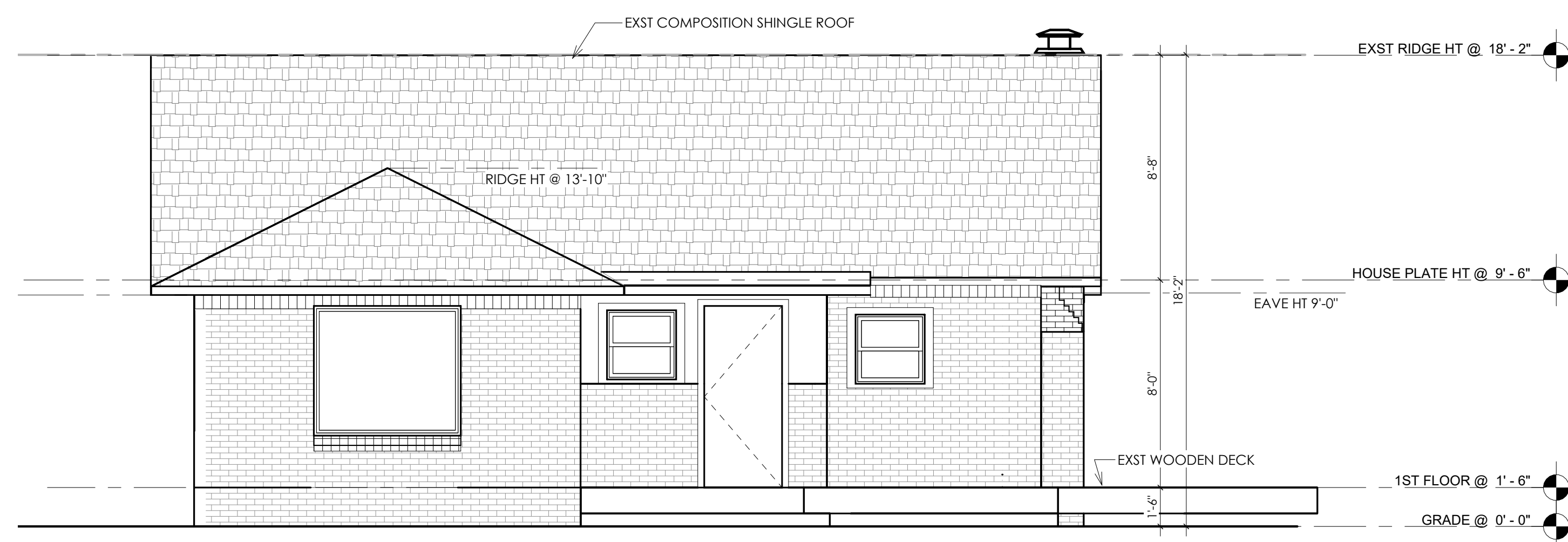
CREOLE
DESIGN L.L.C.

505 MERRILL STREET
HOUSTON, TX 77009
PH: 713.880.3158



THIS DRAWING, & RELATED DOCUMENTS, REMAIN THE PROPERTY OF CREOLE DESIGN & ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT FROM CREOLE DESIGN.

COPYRIGHT 2025
ALL RIGHTS RESERVED



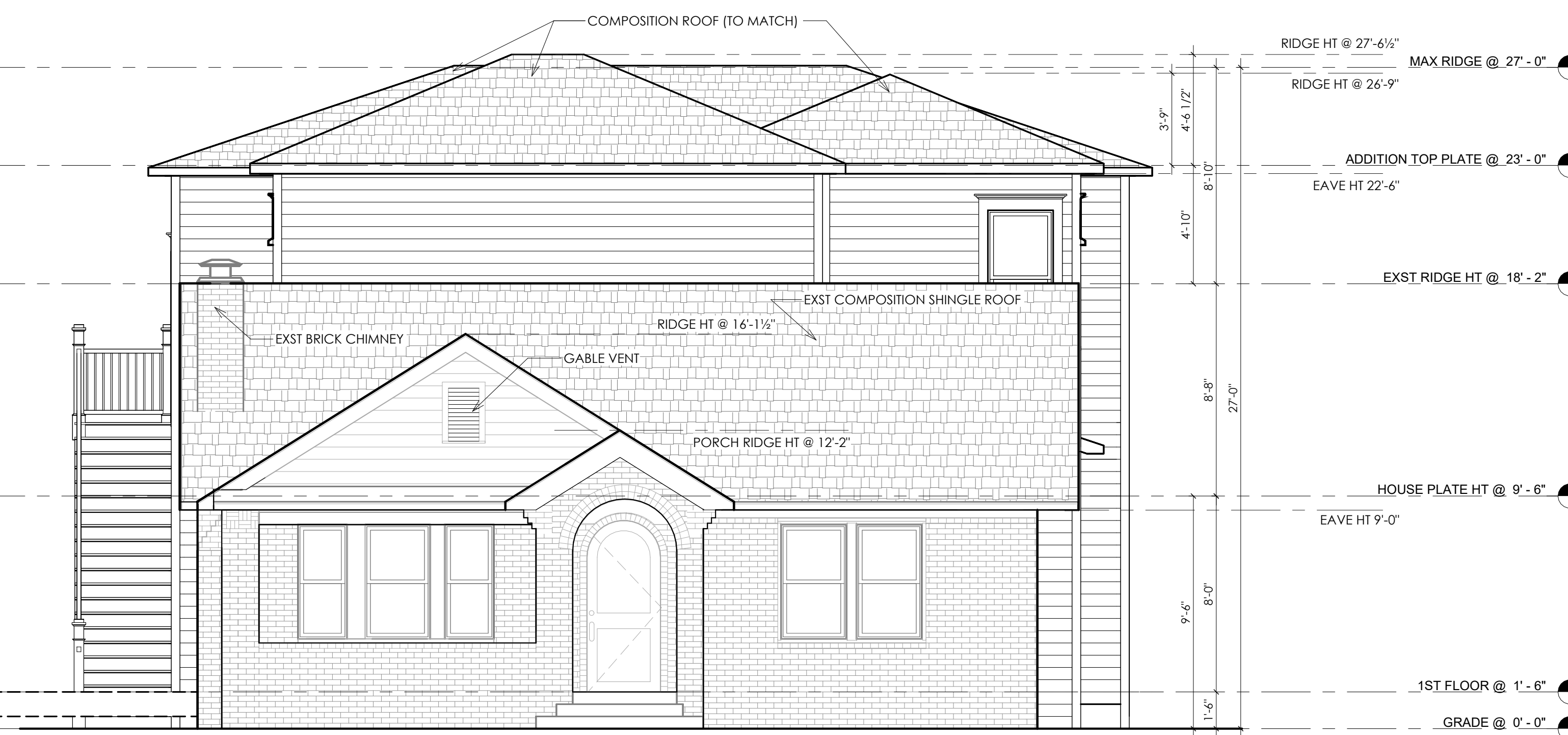
EXISTING REAR ELEVATION
Scale: 1/4" = 1'-0"



EXISTING FRONT ELEVATION
Scale: 1/4" = 1'-0"



PROPOSED REAR ELEVATION
Scale: 1/4" = 1'-0"



PROPOSED FRONT ELEVATION
Scale: 1/4" = 1'-0"

| Revision No. | Date | Description |
|--------------|------|-------------|
| | | Issued by |

REVISION SCHEDULE

Drawing Date: 01/10/2025
Drawn: WD
Checked: SG

NOT FOR CONSTRUCTION FOR REVIEW ONLY

Project No: 000000

SHEET TITLE

ELEVATIONS

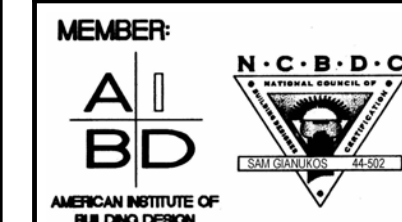
SHEET NO.

H2.1



CREOLE
DESIGN L.L.C.

505 MERRILL STREET
Houston, TX 77009
PH: 713.880.3158



THIS DRAWING, & RELATED DOCUMENTS, REMAIN THE PROPERTY OF CREOLE DESIGN & ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT FROM CREOLE DESIGN.

COPYRIGHT 2025
ALL RIGHTS RESERVED

| Revision No. | Date | Description |
|--------------|------|-------------|
| | | |

Connor Noud Addition
707 EAST 5TH 1/2 STREET
HOUSTON, TX 77007

Drawing Date: 01/10/2025
Drawn: WD
Checked: SG

NOT FOR CONSTRUCTION FOR REVIEW ONLY

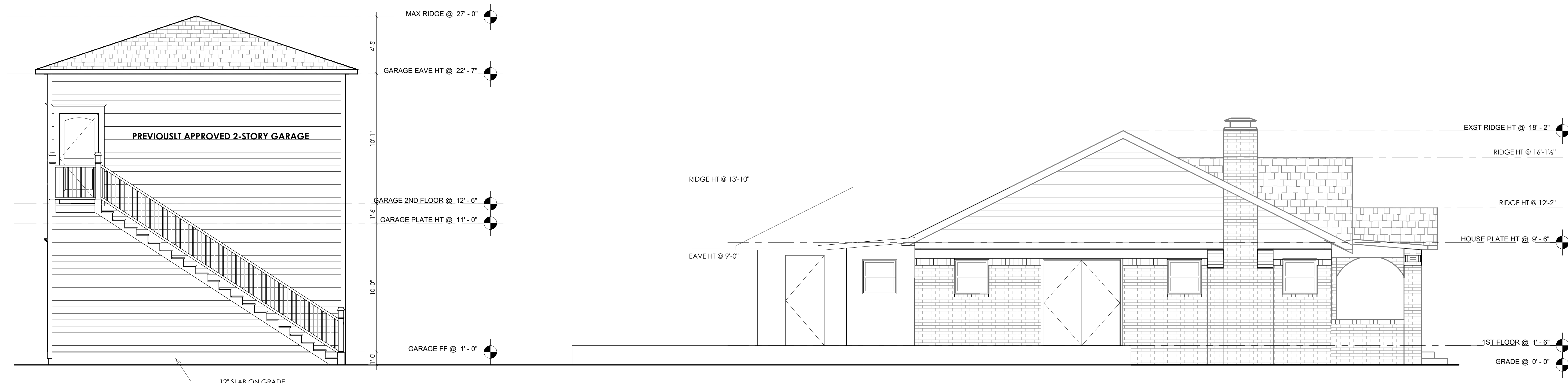
Project No: 000000

SHEET TITLE

ELEVATIONS

SHEET NO.

H2.2



EXISTING LEFT ELEVATION
Scale: 1/4" = 1'-0"

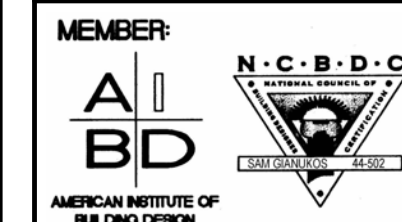


PROPOSED LEFT ELEVATION
Scale: 1/4" = 1'-0"



CREOLE
DESIGN L.L.C.

505 MERRILL STREET
Houston, TX 77009
PH: 713.880.3158



THIS DRAWING, & RELATED DOCUMENTS, REMAIN THE PROPERTY OF CREOLE DESIGN & ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT FROM CREOLE DESIGN.

COPYRIGHT 2025
ALL RIGHTS RESERVED

| Revision No. | Date | Description |
|--------------|------|-------------|
| | | Issued by |

Connor Noud Addition
707 EAST 5TH 1/2 STREET
HOUSTON, TX 77007

Drawing Date: 01/10/2025
Drawn: WD
Checked: SG

NOT FOR
CONSTRUCTION
FOR REVIEW
ONLY

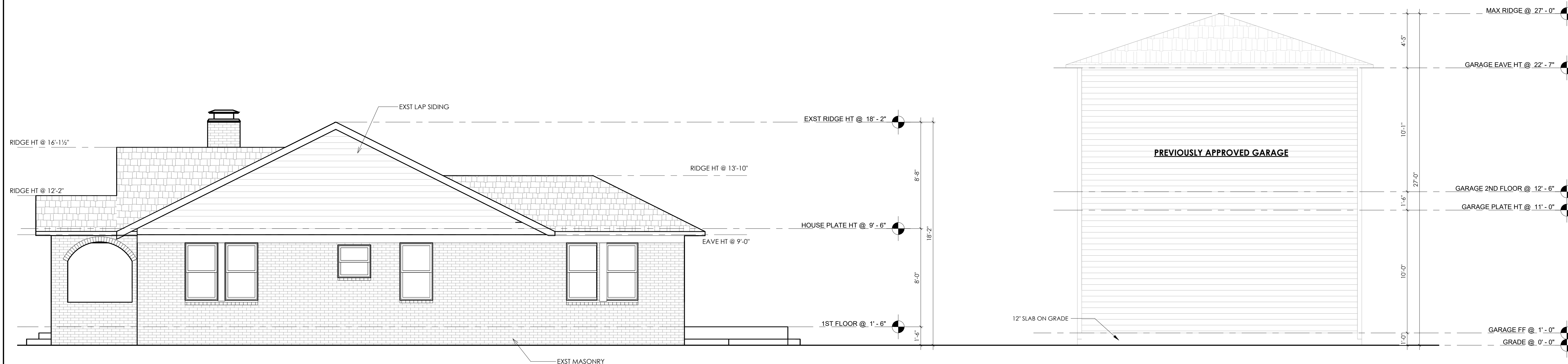
Project No: 000000

SHEET TITLE

ELEVATIONS

SHEET NO.

H2.3



EXISTING RIGHT ELEVATION
Scale: 1/4" = 1'-0"

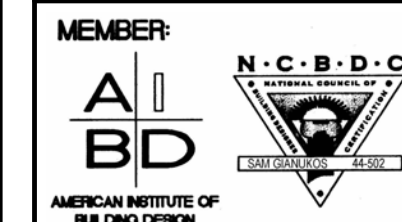


PROPOSED RIGHT ELEVATION
Scale: 1/4" = 1'-0"



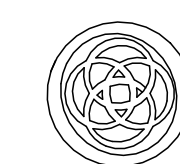
CREOLE
DESIGN L.L.C.

505 MERRILL STREET
Houston, TX 77009
PH: 713.880.3158



THIS DRAWING, & RELATED DOCUMENTS, REMAIN THE PROPERTY OF CREOLE DESIGN & ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT FROM CREOLE DESIGN.

COPYRIGHT 2025
ALL RIGHTS RESERVED



EXISTING GARAGE ELEVATION - REAR

Scale: 1/4" = 1'-0"

| Revision No. | Date | Description | Issued by |
|--------------|------|-------------|-----------|
| | | | |

Connor Noud Addition

707 EAST 5TH 1/2 STREET
HOUSTON, TX 77007

Drawing Date: 01/10/2025
Drawn: WD
Checked: SG

NOT FOR
CONSTRUCTION
FOR REVIEW
ONLY

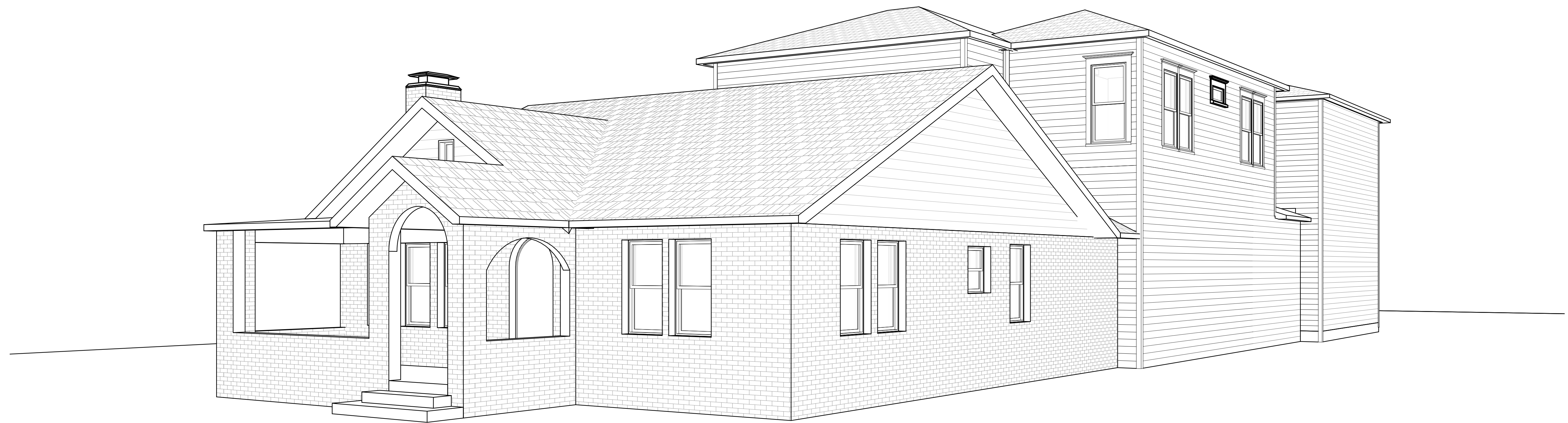
Project No: 000000

SHEET TITLE

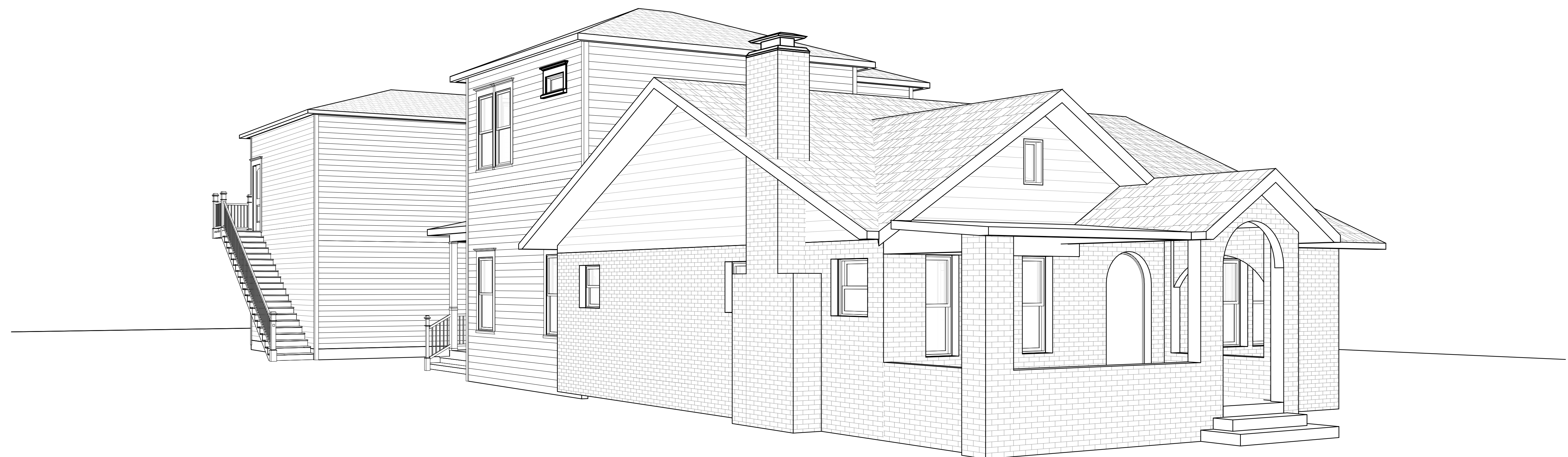
ELEVATIONS

SHEET NO.

H2.4



3D VIEW - EYE LEVEL FROM CENTER STREET
Scale:



3D VIEW - EYE LEVEL FROM CENTER STREET 2
Scale:

| Revision No. | Date | Description | Issued by |
|--------------|------|-------------|-----------|
| | | | |

Connor Noud Addition
707 EAST 5TH 1/2 STREET
HOUSTON, TX 77007

Drawing Date: 01/10/2025
Drawn: WD
Checked: Checker

NOT FOR CONSTRUCTION FOR REVIEW ONLY

Project No: 000000

SHEET TITLE

3D VIEWS

SHEET NO.

H9.0



3D VIEW - EYE LEVEL FROM CENTER STREET 3
Scale:

| Revision No. | Date | Description | Issued by |
|--------------|------|-------------|-----------|
| | | | |

Connor Noud Addition
707 EAST 5TH 1/2 STREET
HOUSTON, TX 77007

Drawing Date: 01/10/2025
Drawn: WD
Checked: Checker

NOT FOR CONSTRUCTION FOR REVIEW ONLY
Project No: 000000

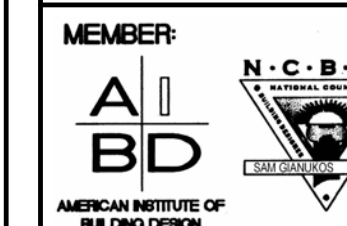
SHEET TITLE
3D VIEWS

SHEET NO.
H9.1



CREOLE
DESIGN L.L.C

505 MERRILL STREET
HOUSTON, TX 77009
PH: 713.880.3158



THIS DRAWING, & RELATED DOCUMENTS, REMAIN THE PROPERTY OF CREOLE DESIGN & ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT FROM CREOLE DESIGN.

COPYRIGHT 2025
ALL RIGHTS RESERVED



| Revision No. | Date | Description | Issued by |
|-------------------|------|-------------|-----------|
| REVISION SCHEDULE | | | |

Connor Noud Addition
707 EAST 5TH 1/2 STREET
HOUSTON, TX 77007

Drawing Date: 01/10/25
Drawn: WD
Checked: Checker

NOT FOR CONSTRUCTION FOR REVIEW ONLY

Project No: 000000

SHEET TITLE

3D VIEWS

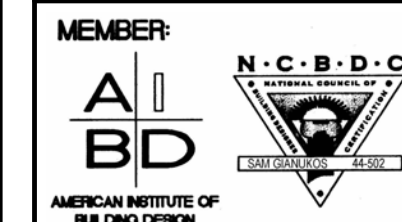
SHEET NO.

H9.2



CREOLE
DESIGN L.L.C.

505 MERRILL STREET
HOUSTON, TX 77009
PH: 713.880.3158



THIS DRAWING, & RELATED DOCUMENTS, REMAIN THE PROPERTY OF CREOLE DESIGN & ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART WITHOUT THE EXPRESSED WRITTEN CONSENT FROM CREOLE DESIGN.

COPYRIGHT 2025
ALL RIGHTS RESERVED

| Revision No. | Date | Description | Issued by |
|--------------|------|-------------|-----------|
| | | | |

Connor Noud Addition

707 EAST 5TH 1/2 STREET
HOUSTON, TX 77007

Drawing Date: 01/10/25
Drawn: WD
Checked: Checker

NOT FOR
CONSTRUCTION
FOR REVIEW
ONLY

Project No: 000000

SHEET TITLE

3D VIEWS

SHEET NO.

H9.3

